

Public Document Pack



CYNGOR SIR
YNYS MÔN
ISLE OF ANGLESEY
COUNTY COUNCIL

Dr Gwynne Jones
Prif Weithredwr – Chief Executive

CYNGOR SIR YNYS MÔN
ISLE OF ANGLESEY COUNTY COUNCIL
Swyddfeydd y Cyngor - Council Offices
LLANGFNI
Ynys Môn - Anglesey
LL77 7TW

Ffôn / tel (01248) 752500
Ffacs / fax (01248) 750839

| RHYBUDD O GYFARFOD | NOTICE OF MEETING |
|---|---|
| PWYLLGOR CYNLLUNIO A GORCHMYNION | PLANNING AND ORDERS COMMITTEE |
| DYDD MERCHER, 6 GORFFENNAF, 2016 ➔ 1.00 o'r gloch y.p. ← | WEDNESDAY, 6 JULY 2016 ➔ 1.00 pm ← |
| SIAMBR Y CYNGOR, SWYDDFEYDD Y CYNGOR, LLANGFNI | COUNCIL CHAMBER, COUNCIL OFFICES, LLANGFNI |
| Swyddog Pwyllgor | Mrs. Mairwen Hughes 01248 752516 Committee Officer |

AELODAU / MEMBERS

Cynghorwyr / Councillors:

Lewis Davies
Jeffrey M. Evans
Ann Griffith (Cadeirydd/Chair)
John Griffith
K P Hughes
W T Hughes
Vaughan Hughes
Victor Hughes
Richard Owain Jones (Is-Gadeirydd/Vice-Chair)
Raymond Jones
Nicola Roberts

Please note that meetings of the Committee are filmed for live and subsequent broadcast on the Council's website. The Authority is a Data Controller under the Data Protection Act and data collected during this webcast will be retained in accordance with the Authority's published policy

A g e n d a

Members are reminded that background papers referred to within committee reports are available for inspection in electronic format on the day of the meeting at the Council Chamber from 12.30 p.m. onwards; alternatively these may be inspected at the Development Management during normal office hours. Documents referred to in reports may also be viewed in full on the electronic application files.

Any additional information to hand following publication of reports will be verbally reported upon to the meeting.

Before a decision notice is released conditions of approval or reasons for refusal given in written reports may be subject to minor amendments to account for typographical errors.

Index

1 APOLOGIES

2 DECLARATION OF INTEREST

3 MINUTES_(Pages 1 - 10)

To submit, for confirmation and signature, the minutes of the Planning and Orders Committee held on 1 June, 2016.

4 SITE VISITS_(Pages 11 - 12)

To submit the minutes of the Planning Site Visits held on 15 June, 2016.

5 PUBLIC SPEAKING

6 APPLICATIONS THAT WILL BE DEFERRED_(Pages 13 - 16)

6.1 20C102L/EIA/RE – Rhyd y Groes Wind Farm, Rhosgoch

6.2 39C561/FR – The Lodge, Holyhead Road, Menai Bridge

7 APPLICATIONS ARISING_(Pages 17 - 32)

7.1 11C567A – 24 Awelfryn, Amlwch

7.2 30C302M – Plas Glanrafon Hotel, Benllech

7.3 31C170D – Hen Lôn Dyfnia, Llanfairpwll

8 ECONOMIC APPLICATIONS_(Pages 33 - 58)

8.1 24C300A/ECON – Tyn Rhos Fawr, Dulas

8.2 34C326D/VAR/ECON – Former Cross Keys Site, Bulkeley Square, Llangefni

Please note that meetings of the Committee are filmed for live and subsequent broadcast on the Council's website. The Authority is a Data Controller under the Data Protection Act and data collected during this webcast will be retained in accordance with the Authority's published policy

9 AFFORDABLE HOUSING APPLICATIONS

None to be considered by this meeting.

10 DEPARTURE APPLICATIONS

None to be considered by this meeting.

11 DEVELOPMENT PROPOSALS SUBMITTED BY COUNCILLORS AND OFFICERS_ (Pages 59 - 62)

11.1 34C313A – Croeso, Rhosmeirch

12 REMAINDER OF APPLICATIONS_ (Pages 63 - 86)

12.1 15C218 – Royal Oak, Malltraeth

12.2 19C1174/FR – Enterprise Park, Holyhead

12.3 28C257A – Bryn Maelog, Llanfaelog

12.4 39LPA1026/TPO/CC – Old Reservoir, Pentraeth Road, Menai Bridge

12.5 41C8G/DEL – Garnedd Ddu, Star

13 OTHER MATTERS_ (Pages 87 - 88)

13.1 11LPA101M/1/LB/CC – Sir Thomas Jones School, Amlwch

This page is intentionally left blank

PLANNING AND ORDERS COMMITTEE

Minutes of the meeting held on 1 June, 2016

- PRESENT:** Councillor Ann Griffith (Chair)
Councillor Richard O.Jones (Vice-Chair)
- Councillors Lewis Davies, John Griffith, Kenneth Hughes,
Vaughan Hughes, Victor Hughes, W.T.Hughes, Raymond Jones
Nicola Roberts
- IN ATTENDANCE:** Planning Development Manager
Planning Assistants
Highways Officer (JAR)
Development Control Engineer (Major Projects) (GG)
Legal Services Manager (RJ)
Committee Officer (ATH)
- APOLOGIES:** Councillor Jeff Evans
- ALSO PRESENT:** Local Members: Councillors Jim Evans, Alun Mummery (application
7.1), R.Meirion Jones (applications 7.1 and 12.6)
- Councillor Ieuan Williams
-

1. APOLOGIES

As noted above.

2. DECLARATION OF INTEREST

Declarations of interest were made as follows:

Councillor W.T.Hughes declared a prejudicial interest with regard to application 6.1

Councillors Lewis Davies, Ann Griffith, John Griffith, Vaughan Hughes and Nicola Roberts declared a personal interest with regard to application 6.1 on the basis of the reference made to wind turbines in the Plaid Cymru Manifesto.

Councillor Victor Hughes declared a personal but not prejudicial interest with regard to application 7.3

Mr John Alwyn P. Rowlands, Highways Officer declared a prejudicial interest with regard to application 12.6

3. MINUTES OF THE 11 MAY, 2016 AND 12 MAY, 2016 MEETINGS

The minutes of the previous meetings of the Planning and Orders Committee held on 11th May, 2016 and the 12 May, 2016 (election of Chair and Vice-Chair meeting) were presented and confirmed as correct.

4. SITE VISITS 18 MAY, 2016

The minutes of the planning site visits held on 18th May, 2016 were presented and confirmed as correct.

5. PUBLIC SPEAKING

The Chair announced that there would be Public Speakers in relation to applications 7.1, 7.2, 7.3, 12.1, 12.5, and 12.6

6. APPLICATIONS THAT WILL BE DEFERRED

6.1 20C102L/EIA/RE – Full application for the erection of 13 wind turbines comprising of 9 900kw wind turbines with a maximum hub height of up to 55m, rotor diameter of up to 52m, and a maximum upright vertical tip height of up to 79m, and 4 900kw wind turbines with a maximum hub height of up to 45m, rotor diameter of up to 52m, and a maximum upright vertical tip height of up to 70m, together with the creation of crane pads, foundations, underground electricity cables, improvements to parts of the existing track, works to the highway, the creation of new access tracks, an extension to the existing 33kv substation, the erection of a new 11kv substation, the erection of an anemometer and temporary construction and storage compounds and batching plant (which would also entail the decommissioning of the existing wind farm) at Rhyd y Groes Wind Farm, Rhosgoch

Having declared a prejudicial interest in this application, Councillor W.T. Hughes withdrew from the meeting for the consideration and determination thereof.

The Planning Development Manager confirmed that discussions with Natural Resources Wales to agree possible measures aimed at mitigating the impacts of the scheme on the nearby Area of Outstanding Natural Beauty have progressed resulting in amended plans. The Officer said that he anticipated that arrangements could be made to allow a site visit to take place in July.

It was resolved to defer the application in accordance with the Officer's recommendation in order to rearrange a site visit.

6.2 39C561/R/TR – Full application for the erection of a Zorb Centre together with the construction of a vehicular access and car park on land at the Lodge, Holyhead Road, Menai Bridge

It was resolved to defer consideration of the application in accordance with the Officer's recommendation for the reason given in the written report.

7. APPLICATIONS ARISING

7.1 31C170D – Full application for the erection of 17 dwellings (12 with 2 bedrooms, 4 with 3 bedrooms and 1 bungalow with 3 bedrooms) together with the construction of a new vehicular and pedestrian access on land adjacent to Hen Lôn Dyfnia, Llanfairpwll

The application is reported to the Planning and Orders Committee as the application site is located outside, albeit adjoining the Local Plan development boundary for Llanfairpwll and the application has been advertised as a departure from the Local Plan. Two of the Local Members have also requested that the application be determined by the Committee. At its meeting held on 11th May, 2016, the Committee resolved to visit the site ahead of determining the application and the site visit took place on 18th May, 2016.

Mr Gwynne E. Owen, a Public Speaker addressed the Committee in opposition to the application and he referred to photographs included as part of the representations made with regard to the application which illustrate the congestion and crowding in terms of parking and traffic in the Ffordd Penmynydd area which problems are particularly acute at weekends giving rise to issues of highway safety. The road is hazardous to which he could attest from personal experience. The lack of visibility at the corner of the junction is dangerous. A pavement from the corner of the bridge in a previous version of the application has since been omitted. Mr Owen referred to the Planning Policy Wales document which sets out the Council's responsibility as regards road safety which the Officer's report does not mention. Another concern for the residents of nearby properties is flooding; residents of properties on Lôn Dyfnia have twice experienced water ingress in their homes. A soakaway is proposed in the latest application but no mention is made whether the developer or the taxpayer will be responsible for its maintenance.

The Committee sought clarification of Mr Owen regarding the ownership of the land which will accommodate the planned soakaway. Mr Gwynne Owen said that it was his understanding but

that he could not be absolutely sure that the fields beyond belonged to the owner of the development which is also a concern in terms of potential further development in future. Mr Owen said that taking a holistic approach is relevant in this instance being mindful of the possibility of additional development in this area and its effects.

Mr Rhys Davies, a Public Speaker spoke in support of the application and he said that it was important to note that the development takes its access from the old Lôn Dyfnia and not from Lôn Penmynydd. As part of the application, improvements are proposed to Lôn Penmynydd including a footway even though the developer did not consider this necessary as the development is not accessed from Lôn Penmynydd. This is one of the compromises the developer has made. The application has been over a year in the making and has been subject to extensive discussions with officers regarding highway and drainage issues which have resulted in definite improvements which will be at the cost of the developer. The scheme proposes a soakaway to the field to the north of the development site in which there will be a tank to deal with surface water from the development. Taking the development site in its entirety the density is less than 30 units per hectare which is acceptable as regards policy and in comparison with nearby developments. It will offer the people of Llanfair a mix of dwellings for which there is a waiting list especially among young people.

The Committee asked questions of Mr Rhys Davies with regard to the details of the drainage scheme for the development and in particular the siting of a proposed holding tank and its capacity to be able to serve the 17 new dwellings in a flooding event.

Mr Rhys Davies said that a detailed drainage scheme is included as part of the application. Water will ultimately drain to a culvert to the A55. It will initially drain to a field to the south from Hen Lôn Dyfnia where the tank will be situated. In the event that the holding tank reaches its capacity i.e. in an extreme weather event the gardens of the proposed dwellings may retain water to a depth of ½ ft. - this is an option of last resort. There is no capacity in the culvert which runs towards Llanfair hence the use of the culvert running in the direction of the A55. The holding tank will have a capacity of thousands of litres. Advice with regard to drainage matters is being provided by a consultant. Furthermore, the Authority's Officers have been insistent with regard to the adequacy of the drainage scheme which issues have been discussed thoroughly and in detail.

Councillors R. Meirion Jones, Alun Mummery and Jim Evans all addressed the Committee as Local Members and they brought the following considerations to the Committee's attention:

- That planning rules are meant to assist with the planning of communities so the underlying principle is the benefit of the community and not the benefit of an individual or a developer. The developer's approach in this instance has not chimed with this principle, and the feeling is that the amendments made to the scheme have been done simply in order to obtain approval and that has been the principal motivator.
- An appeal has been submitted ahead of its consideration by the Committee. The Committee should not feel pressurised into approving the proposal.
- The key issues are residents' disquietude; the implications for road safety, drainage concerns and the density of the proposed development. The roads at Lôn Penmynydd and Lôn Dyfnia are problematic as is the junction; the proposed new footway is shorter and narrower; there is no certainty that the late drainage plans will be successful and it is difficult to have faith in them. The Officer's report states that the site would expect to accommodate 12 and not 17 units and the application is capable of being refused solely on the grounds of density.
- Cadnant Planning highlights as at paragraph 1.11 that the arrangement will be described to prospective buyers so that they are aware that their gardens may flood to a shallow depth during a severe rainfall event.

The Planning Development Manager reported that the key issues with regard to this application are the principle of development, the acceptability of the current scheme for the erection of 17 dwellings in terms of design and layout along with highways and drainage issues. The principle of development has been accepted in the previous issuing of outline planning consent for 11 dwellings and the application site is within the defined boundary of the stopped Unitary Development Plan. The application site is also surrounded by other housing in the area. Although the proposal is for 17 units which is higher than the 12 units the site would expect to accommodate, it is not dissimilar to other developments in the locality. Moreover, the Council does not at present have a 5 year housing land supply; the scheme in question will

contribute towards meeting this obligation as well as providing much needed affordable housing in what is a sustainable location on the edge of one of the largest villages on the Island. Officers are satisfied that notwithstanding the scheme seeks to deliver a higher than expected number of units, it is on balance acceptable. Concerns expressed by the Highways Authority regarding the proposal as originally submitted have now been resolved in the amended scheme to the satisfaction of highways officers. There have been extensive discussions in respect of drainage matters with the outcome that the Council's Drainage Officers now deem the drainage provision to be acceptable. There has been much work involved in overseeing the plans and assurance provided by officers with the professional expertise that they are acceptable. Planning Policy Wales is cited in the report as one of the main planning policy reference documents to which regard has been had in considering the application. The Officer said that an appeal against non-determination has been made by the applicant and as a result of legislative changes a dual jurisdiction procedure applies for a period of 4 weeks during which time the local planning authority may still determine the application. The Officer confirmed that the Authority is within that timeframe. The Officers strongly recommend that the application be approved. If the application does proceed to appeal it is the Officers' view that presenting an argument against the development would be difficult given the evidence available. The Committee would have to base its refusal be that on whatever grounds on a sound planning argument. Likewise, should the Committee refuse the application for reasons of density then it would have to demonstrate that the density of the development would actually result in harm.

The Highways Officer confirmed that the proposal is acceptable from a Highways perspective and that as part of the scheme significant improvements are being proposed to the highway network. The footway does not go as far as it did originally because use of the site will not extend to Ffordd Penmynydd. The access arrangements are also considered acceptable.

Having considered the information presented in the written report and orally by the Public Speakers and Local Members, the Committee noted the following:

- That it had concerns about the impact of the development in terms of density. The Committee noted that the proposal for 17 units is higher than the number of units expected for the site and took the view that it is excessive.
- That it also had serious concerns about the scheme's drainage impacts and the adequacy of the drainage provision as proposed. The Committee found the prospect that gardens may be under water to a depth of ½ ft. at times of severe rainfall to be unacceptable and was worried about the risk of flooding and the consequent effects on the properties and their residents as well as the wider implications as a result of having approved the proposal.
- The Committee noted a lack of clarity around the capacity of the holding tank and was not sufficiently assured that the drainage arrangements as proposed were appropriate or adequate for the scale of the development and the land on which it would be sited. The Committee consequently was not persuaded that drainage issues had been properly addressed.
- That the Committee had further concerns regarding the highway impacts of the proposal and the additional traffic which 17 housing units would generate and the effects it would have on road safety in an area where there are already parking and traffic issues.

The Planning Development Manager further advised the Committee that planning officers in arriving at their conclusions and recommendation of approval have been guided by the professional expertise within the Council's Highways and Drainage sections and the officers from those sections have confirmed that the arrangements are acceptable from both a Highways and Drainage perspective. Those conclusions have been reached over the course of several months of discussions. The Committee, if mindful to refuse the application on the basis of the concerns expressed should be clear that the professional officers do not concur with those views.

There was no support for the application within the Committee and no proposal that the application be approved was made. Councillor Lewis Davies proposed that the application be refused contrary to the Officer' recommendation. His proposal was seconded by

Councillor Victor Hughes. In the subsequent vote, nine of those Members present voted to refuse the application. The reasons given for the refusal were the density of the development, the risk of flooding and that the Committee was not persuaded by the information presented that the drainage arrangements as proposed are suitable.

The Legal Services Manager advised that under the terms of the Council's Constitution the application would be re-presented at next month's Committee meeting. Should the applicant proceed with the appeal in the meantime then the appeal timetable may make it necessary for the Authority to respond and that response would be on the basis of the decision taken at this meeting. However, should the timetable allow, the Committee may be able to reconsider the application at its July meeting under the "cooling off" arrangements.

It was resolved to refuse the application contrary to the Officer's recommendation for the reasons given.

(In accordance with the requirements of the Council's Constitution, the application was automatically deferred to the next meeting to allow Officers the opportunity to prepare a report in respect of the reasons given for approving the application)

7.2 42C127B/RUR – Full application for the erection of an agricultural dwelling together with the installation of a private treatment plant on land at Ty Fry Farm, Rhoscefnhir

The application was presented to the Planning and Orders Committee because on the date of submission, a person with close connections to the applicant was a close relative of a "relevant officer" as defined paragraph 4.6.10.2 of the Council's Constitution. The relevant officer is no longer employed by the Council. The application has been scrutinised by the Monitoring Officer as is required by the said paragraph. At its meeting held on 29 July, 2015 the Committee resolved to defer the application in order undertake a site visit which took place on 19 August, 2015. Consideration of the application was subsequently deferred in order to receive and consider further submissions.

Kate Barker, a Public Speaker who opposed the application cited the size and proportions of the proposed development, irregularities and inaccuracies in relation to the application, impact on the setting of Ty Fry listed house, and the availability of alternative, more suitable locations within the farm as grounds for objection. She also referred to the unsuitability of the proposed dwelling as a starter home.

The Committee sought clarification of Ms Barker why she took the view that the applicant should have a starter home. Ms Barker said that a Local Member had expressed support for the application as a starter home which she believed was not an accurate description of the proposal as presented.

Mr Gwilym Jones, a Public Speaker spoke for the proposal as being essential to secure the future of the farm as a family enterprise which he helps run in partnership with his parents. Properties in the village are priced beyond his reach and it is essential that he and his wife live on the farm to care for and oversee the stock. The proposal is compliant with the national and local policies governing such dwellings and the need for it is accepted by the Council's independent agricultural consultant. The dwelling will be subject to an occupancy restriction linking its use directly to the farm. Several locations were considered for the siting of the proposal but the options were limited because of the proximity of the park and gardens at Ty Fry. The application site as proposed is believed to be suitable in being a distance of 400m from the listed house of Ty Fry, and in not being visible from the building itself. The proposal has been carefully considered, is reasonable and would provide a home for the next generation of Welsh farmers.

The Committee questioned Mr Jones on the size and location of the proposed dwelling. Mr Jones confirmed that the proposal is in the most suitable location available and that in terms of size it has a footprint of 180m sq. and is within the guidelines for agricultural dwellings.

The Planning Development Manager informed the Committee that since the report was written a further objection has been received drawing attention to the availability of a two storey dwelling on a plot nearby meaning there is no need for the proposed development as well as the availability of more suitable plots within the farm. The Officer reported that the key issues relate to whether the rural enterprise justifies the residential accommodation proposed in the context of national and local planning policies and whether it would harm the setting of the Listed Building and Historic

Park and Garden. National and local policies set out the circumstances in which proposals of this kind are considered permissible as outlined in the written report. TAN 6 indicates where exceptions can be made to the general presumption against residential development in the countryside including where management of a farm business is to be transferred to a person younger than the original worker. The Council's independent agricultural consultant has accepted that the exception criteria set out in TAN 6 have been met in this instance and that the proposal also meets the financial and other normal planning tests contained in TAN 6 and that the enterprise is financially sound, and the access arrangement and siting and design of the proposed enterprise dwelling are acceptable. In terms of the impact on Ty Fry listed building and historic gardens, it is the Officer's opinion that the proposed dwelling is sufficiently distanced and physically separated from the listed building so as to ensure that the building and its setting are preserved. Although the proposed dwelling will be a feature in the landscape, its impact will be no greater than that of other existing buildings in the vicinity and it would over time be integrated within its surroundings without appearing incongruous or as a prominent feature causing unacceptable harm.

The Committee sought clarification of the occupancy condition and its duration and stressed the importance of ensuring that the proposed dwelling is kept available to meet the farming need for as long as Ty Fry Farm remains viable as a rural enterprise. The Officer confirmed that the conditions run alongside the planning consent and will apply to it in perpetuity or until such time as an application be made to the Council to discharge that particular condition. Moreover, a section 106 agreement is also proposed in this instance which will also apply for the lifetime of the consent unless an application is made to discharge or to amend it. Should such an application be made in future, then the situation would have to be reconsidered at that time.

The majority of the Committee's Members were in favour of the proposal as essential to the continued success of the farm enterprise and as acceptable in terms of its design and location. Councillor W.T.Hughes proposed that the application be approved and the proposal was seconded by Councillor Kenneth Hughes.

Councillors Victor Hughes and Lewis Davies, although supportive of the Ty Fry Farm business and its continued prosperity, had reservations regarding the location of the proposed dwelling as being in the open countryside and therefore liable to be read as an isolated and incongruous feature in the landscape contrary to the provisions of Policy 53. Councillor Victor Hughes referred to reports issued by Reading independent agricultural consultants whose advice the Authority had sought wherein specific issues were raised concerning the proposal. Both Councillor Victor Hughes and Lewis Davies deemed the proposal capable of being sited in a more favourable location closer to Ty Fry Farm and on that basis Councillor Victor Hughes proposed that the application be refused contrary to the Officer's recommendation, and he was seconded by Councillor Lewis Davies.

The Planning Development Manager said that consultation with the independent agricultural consultants has progressed and evolved over a period of months during which time reports were issued in which questions were asked, and points raised by the consultants to which the Officers have responded. As regards policy, Policy 53 does not allow development in the open countryside except in circumstances where it can be demonstrated that such a development is necessary to the continued success of a rural enterprise. Officers have assessed the location of the proposed development and have considered whether other options are available and are satisfied that the needs of the farm business cannot be met in any other way. The closer the development is sited to Ty Fry listed building and gardens, the greater the potential impact on those features. The Officers are satisfied that as regards the location of the proposed dwelling a balance has been struck between meeting the needs of the rural enterprise and preserving the listed building and associated gardens.

In the ensuing vote on the matter, the proposal to approve the application was carried.

It was resolved to approve the application in accordance with the Officer's recommendation subject to the execution of an obligation under Section 106 of the Town and Country Planning Act 1990 (as amended) containing the provisions set out in the written report and subject also to the planning conditions listed therein.

7.3 45C432C – Full application for the erection of two dwellings together with the construction of a vehicular access on land at Graig Fawr, Dwyran

The application is presented to the Planning and Orders Committee at the request of a Local Member.

At its meeting held on 11th May, 2016, the Committee resolved to undertake a site visit and the site was visited on the 18th May, 2016.

Sam Kennelley, a Public Speaker said that she and forty others locally objected to the proposal on the basis that it does not accord with the surrounding area because of its size, design and layout; for reasons of scale and consequent impact; loss of privacy and overshadowing effects on the bungalow opposite; road safety issues; risk of flooding and because there is no demonstrable need for the development locally.

Mr Dafydd Jones, a Public Speaker spoke in favour of the application and he said that the application has been made following the erection of a pair of semi-detached dwellings by the applicant approved in September, 2013, due to the suitability of the adjacent development site as an infill site under Policy 50 of the Local Plan. The safety of local residents has been considered and improved by the inclusion of a new pedestrian footway to the front of the site facing directly onto Lôn Fain as part of the development and at the cost of the developer. The approved access onto the public highway is to be used as part of the development to reduce vehicle access points directly onto Lôn Fain from the site – no new access is provided as part of the application. The site is not located within a flood zone and all site surface water will be contained within the development site. There is a number of varying house types along Lôn Fain and no local character of dwelling may be ascertained from this area. The aforementioned recently constructed semi-detached affordable dwellings have already been sold thus proving the need for this type of dwelling in the area. There are no valid planning reasons for refusing the application.

The Committee questioned Mr Jones on the approach taken by the developer and given the layout of the site why the application was not for an estate which would have delivered a proportion of affordable housing. Mr Dafydd Jones said that the advice was that the approach taken is the best way in terms of the proposal meeting infill requirements under Policy 50. Any application for further development is a matter for the developer.

Councillor Ann Griffith, stood down as Chair of the Committee to speak in her capacity as a Local Member regarding the application. Councillor Richard Owain Jones, Vice-Chair took the chair for the remainder of the discussion and the determination of the application.

Councillor Ann Griffith said that there are concerns locally in relation to the proposed development because of standing surface water on the application site and the risk of flooding – this area did suffer flooding as a result of the severe rainfall at Christmas. There are questions as to the adequacy of the infrastructure to deal with further housing. The proposed development in scale and design is out of keeping with surrounding housing and Lôn Fain is a narrow, single road on which parking is already a problem. Councillor Griffith said it was her view that there is no local need for this development there being existing properties on sale in the village. The developer however does wish to make it known that he employs local people and makes use of locally sourced materials.

The Planning Development Manager reported that the key planning issues relate to the proposal's compliance with policy, its effect on neighbouring properties and surrounding area and highway safety. Dwyran is defined as a listed settlement under Policy 50 of the Ynys Môn Local Plan and being located immediately next to residential dwellings and opposite residential properties, the proposal is considered acceptable as an infill application under the provisions of Policy 50 which allows for single plot applications within or on the edge of a settlement. It is not considered that the proposal will harm the amenities of the occupants of neighbouring properties or have a detrimental impact on the surrounding areas or on highway safety. In response to a question regarding local concerns about flooding, the Officer said that he could confirm that the Council's Drainage Section find the drainage details acceptable.

Councillor Lewis Davies proposed that the application be approved and the proposal was seconded by Councillor Kenneth Hughes.

It was resolved to approve the application in accordance with the Officer's recommendation subject to the receipt of satisfactory drainage details with regard to the proposed soakaway and to the planning conditions listed in the written report.

8. ECONOMIC APPLICATIONS

None were considered by this meeting of the Planning and Orders Committee.

9. AFFORDABLE HOUSING APPLICATIONS

None were considered by this meeting of the Planning and Orders Committee.

10. DEPARTURE APPLICATIONS

None were considered by this meeting of the Planning and Orders Committee.

11. DEVELOPMENT PROPOSALS SUBMITTED BY COUNCILLORS AND OFFICERS

11.1 23C334 – Full application for the erection of a dwelling, construction of a vehicular access together with the installation of a septic tank on land near Ty Newydd, Maenaddwyn

This application was denoted as application 12.4 on the agenda but was considered under this section as the application is made by a relevant officer as defined by the Council's Constitution, and as such it is presented to the Planning and Orders Committee for determination. The application has been scrutinised by the Monitoring Officer as required by paragraph 4.6.10.4 of the Constitution.

The Planning Development Manager confirmed that the application site is considered to be a clear infill plot and is therefore acceptable in terms of compliance with Policy 50 criteria. There is sufficient distance between the proposal and existing properties so as not to cause harm to the amenities of the occupants of those properties.

Councillor Lewis Davies proposed that the application be approved and the proposal was seconded by Councillor Victor Hughes.

It was resolved to approve the application in accordance with the Officer's recommendation subject to the conditions listed in the written report.

12. REMAINDER OF APPLICATIONS

12.1 11C567A – Full application for the erection of two semi-detached dwellings together with the construction of a vehicular access on land adjacent to 24 Awelfryn, Amlwch

The application was presented to the Planning and Orders Committee at the request of a Local Member.

Councillor W.T.Hughes, one of the Local Members requested that the site be visited so Members may better appreciate the concerns locally relating to parking and overdevelopment. The proposal was seconded by Councillor Lewis Davies.

Mr David Rothwell, who had been registered to address the Committee as a Public Speaker on this application requested that he may be allowed to avail himself of the opportunity at this meeting having travelled to attend specifically for that purpose.

The Legal Services Manager advised that if Mr Rothwell decides to speak at this meeting, it is on the understanding that under the provisions for Public Speaking in the Council's Constitution, he will forego the opportunity to do so when the application is re-presented to the Committee at the next meeting.

Mr David Rothwell spoke in favour of the application and said that the application is driven primarily by family needs and is for his daughter who is to marry a young man from Amlwch. The proposal would enable her to gain a home at a modest cost. The materials for the development are to be purchased locally and subject to approval, Welsh contractors will be engaged. The site

does have approval for a single three bedroomed detached dwelling and the application does not substantially alter that in shape, size or form but proposes to split the property to provide a dwelling for his daughter with the second dwelling to be sold at a fair market value. Two parking spaces have been allocated for each property which satisfies government policy. Mr Rothwell said that he had intended to write to local residents to clarify the proposal and to highlight that he would be available for a dialogue as regards minimising the impact during the actual build including parking provision for construction vehicles.

It was resolved to that a site visit be undertaken in accordance with the request of a Local Member for the reason given.

12.2 19LPA37E – Full application to place a new security fence behind the existing boundary wall along South Stack Road at Cybi Block, Holyhead

The application is presented to the Planning and Orders Committee as it is on land owned by the Council.

Councillor Lewis Davies proposed that the application be approved and the proposal was seconded by Councillor W.T.Hughes.

It was resolved to approve the application in accordance with the Officer's recommendation subject to the conditions listed in the written report.

12.3 19C845J/VAR – Application under Section 73 for the variation of condition (01) of planning permission reference 19C845E (siting of a clubhouse) so as to allow for an extension to the period for the siting of the clubhouse at Holyhead Hotspurs, Holyhead

The application is presented to the Planning and Orders Committee as the land is owned by the Council.

Councillor Lewis Davies proposed that the application be approved and the proposal was seconded by Councillor Kenneth Hughes.

It was resolved to approve the application in accordance with the Officer's recommendation subject to the conditions listed in the written report.

12.4 23C334 – Full application for the erection of a dwelling, construction of a vehicular access together with the installation of a septic tank on land near Ty Newydd, Maenaddwyn

Please refer to item 11 above.

12.5 30C302M – Full application for the demolition of the existing building together with the erection of a block of flats (36 flats) in its place at Plas Glanrafon Hotel, Benllech

The application is presented to the Planning and Orders Committee at the request of a Local Member.

Councillor John Griffith proposed that the application site be visited due to concerns regarding parking and because of amenity issues. The proposal was seconded by Councillor Lewis Davies.

It was resolved to undertake a site visit for the reason given.

12.6 39C176C – Full application for alterations and extensions to the existing dwelling together with the demolition of the existing garage and erection of a new garage with self-contained flat above at Gogarth, Cadnant Road, Menai Bridge

The application is presented to the Planning and Orders Committee at the request of a Local Member.

Having declared a prejudicial interest in this application, Mr John Alwyn P. Rowlands, Highways Officer withdrew from the meeting during the consideration and determination thereof.

Mr Peter Caldicott, a Public Speaker and objector to the application said that the main concerns centre on the safety of the ground at Gogarth. The whole of the drive including the area of the proposed garage and the steep slope below is an unstable scree slope which is several metres deep with a thin crust of concrete and tarmac on top. It has failed even under no loading

whatsoever. It is vitally important that a ground investigation is performed by a respected authority to establish the ground conditions and what works are necessary to ensure the safety of the site before, during and after construction. The most extreme outcome would be that one rainy day in future the ground under the garage would move and the surrounding area would slip down the steep slope onto Cadnant Road with serious consequences. Mr Caldicott said that he was concerned that this issue was not adequately covered by existing arrangements.

Councillor R.Meirion Jones, a Local Member said that he called in the original application because of a number of aspects. The application plans have changed during the last few months. Gogarth has a history regarding planning matters. Gogarth was built outside the building line and was considered by the 1992 inspector as already prominent. The unadopted UDP places it inside the development area. This area is a neighbourhood of environmental importance that needs to be treated sensitively. Four dormer windows are to be questioned; vehicle access along Mount Street will be exacerbated and parking and turning are problematic. Councillor Meirion Jones reiterated the concerns of the Public Speaker regarding the safety of the application site and said that the issue of subsidence is a real problem. If any type of landslide was to occur then it is likely to run down onto Cadnant Road. This might not be considered to be a planning issue but it is one that needs to be highlighted.

The Planning Development Manager reported that the description of the application has since changed and does not now include a self-contained flat as part of the proposal. The safety of the site is governed by separate building control legislation, and as part of that process it will need to be demonstrated that the land is suitable and able to bear the construction works. The Officers are satisfied that the proposal is acceptable in terms of design and that the site can comfortably accommodate the proposal without overdeveloping the site to the detriment of the character of the locality or the amenities of neighbouring properties. Following a meeting with Highways Officers, it is proposed that a traffic management plan is attached to planning consent if given.

Councillor Kenneth Hughes proposed that the application be approved given that it is for extensions to what is already in existence and the proposal was seconded by Councillor Lewis Davies.

It was resolved to approve the application subject to the conditions set out in the written report and the addition of a condition in relation to a traffic management plan.

12.7 46C499A – Full application for change of use of part of the dwelling into a B&B, alterations and extensions which include a balcony, demolition of the existing garage together with the erection of a new garage in its place at Fron y Graig, Ravenspoint Road, Trearddur Bay

The application is presented to the Planning and Orders Committee as it has been called in by a Local Member.

Councillor Lewis Davies proposed that the application site be visited on account of the development's potential effects on neighbouring properties.

The Planning Development Manager reported that the alterations proposed are not significant and no representations have been made from within the locality. The change of use proposed is considered acceptable and will not impact on the character of the surrounding area or on the neighbouring properties such as to warrant refusal. The Officer said that there is an existing B&B establishment farther up the road.

Councillor Lewis Davies subsequently withdrew his proposal for a site visit.

Councillor Kenneth Hughes proposed that the application be approved and the proposal was seconded by Councillor Raymond Jones.

It was resolved to approve the application in accordance with the Officer's report subject to the conditions listed in the written report.

13. OTHER MATTERS

13.1 28C116U – Application under Section 73A to vary pre-conditions (05) samples of roofing materials, (06) trade descriptions of finishing materials, (11) estate road, (12) maintenance of access and estate road,(13) noise, (14) drainage scheme, (15) sustainable drainage systems on appeal decision reference no APP\6805\A\07\2053627 so as to allow for their discharge following commencement of works on site together with the deletion of condition (16) affordable housing at Maelog Garden Centre, Llanfaelog

The Committee was advised that an appeal has been submitted to the Planning Inspectorate against the Local Planning Authority's decision dated 8 March, 2016 refusing application reference 28C116U contrary to the Officer's recommendation.

It was resolved to note the information.

**Councillor Ann Griffith
Chair**

This page is intentionally left blank

PLANNING AND ORDERS COMMITTEE

Minutes of the meeting held on 15 June, 2016

- PRESENT:** Councillor Ann Griffith (Chair)
- Councillors Lewis Davies, K.P. Hughes, T.V. Hughes, W.T. Hughes
(item 2 only), R.O. Jones.
- IN ATTENDANCE:** Planning Officer (MD),
Highways Officer (JAR),
Development Control Engineer (Major Projects) (GG).
- APOLOGIES:** Councillors John Griffiths, Vaughan Hughes.
- ALSO PRESENT:** None
-

1 30C302M – FULL APPLICATION FOR DEMOLITION OF THE EXISTING BUILDING TOGETHER WITH THE ERECTION OF A BLOCK OF FLATS (36 FLATS) IN ITS PLACE AT PLAS GLANRAFON HOTEL, BENLLECH

The Planning Officer explained the plans in relation to the site from the street and within the site. The proximity of surrounding dwellings was viewed when entering the site.

2 11C567A – FULL APPLICATION FOR THE ERECTION OF TWO SEMI-DETACHED DWELLINGS TOGETHER WITH THE CONSTRUCTION OF A VEHICULAR ACCESS ON LAND ADJACENT TO 24 AWELFRYN, AMLWCH

The Planning Officer explained the plans and layout of the site. Concerns were raised regarding parking issues, the footpath and drainage issues.

**COUNCILLOR ANN GRIFFITH
CHAIR**

This page is intentionally left blank

6.1

Gweddill y Ceisiadau

Remainder Applications

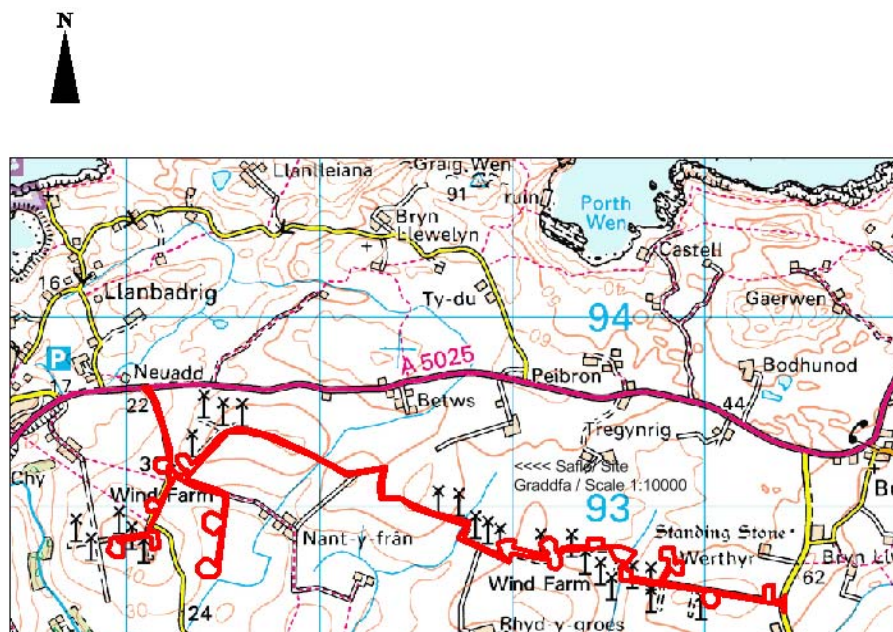
Rhif y Cais: **20C102L/EIA/RE** Application Number

Ymgeisydd Applicant

TPG Wind Ltd

Cais llawn i godi 11 o dyrbinau gwynt gyda 6 tyrbin gwynt hyd at 900kw gydag uchafswm uchder hwb o hyd at 55m, diametr rotor o hyd at 52m, ac uchafswm uchder i ben y llafn o hyd at 79m, a 3 tyrbin gwynt hyd at 900kw gydag uchder hwb o hyd at 45m, diametr rotor o hyd at 52m, ac uchder mwyaf i flaen y llafn o hyd at 70m, a 2 tyrbin gwynt hyd at 900kw gydag uchder hwb o hyd at 45m, diametr rotor o hyd at 52m, ac uchder mwyaf i flaen y llafn o hyd at 66m uwchben y ddaear ynghyd â chreu padiau craen, sylfeini, ceblau trydan o dan ddaear, gwelliannau i rannau o'r trac presennol, creu traciau mynediad newydd, gwneud gwaith i'r briffordd, estyniad i'r is-orsaf 33kv bresennol, codi is-orsaf 11kv newydd, codi anemomedr a chompownd adeiladu a storio dros dro a ardal gwaith concrit (fydd yn cynnwys cael gwared ar y fferm wynt presennol) yn / Full application for the erection of 11 wind turbines comprising of 6, up to 900kW wind turbines with a maximum hub height of up to 55m, rotor diameter of up to 52m, and a maximum upright vertical tip height of up to 79m, and 3, up to 900kW wind turbines with a maximum hub height of up to 45m, rotor diameter of up to 52m, and a maximum upright vertical tip height of up to 70m, and 2, up to 900kW wind turbines with a maximum hub height of up to 45m, rotor diameter of up to 52m, and a maximum upright vertical tip height of up to 66m above ground together with the creation of crane pads, foundations, underground electricity cables, improvements to parts of the existing track, works to the highway, the creation of new access tracks, an extension to the existing 33kV substation, the erection of a new 11kV substation, the erection of an anemometer and temporary construction and storage compounds and batching plant (which would also entail the de-commissioning of the existing wind farm) at

Rhyd y Groes Wind Farm, Rhosgoch



Planning Committee: 06/07/2016

Report of Head of Regulation and Economic Development Service (DFJ)

Recommendation:

Site Visit

The site visit scheduled for the 16th March was deferred at the request of the applicant as discussions regarding the scheme are continuing at present with Natural Resources Wales with a view to agreeing possible measures aimed at mitigating impacts on the nearby Area of Outstanding Natural Beauty. These discussions have taken place and an amended scheme has now been received.

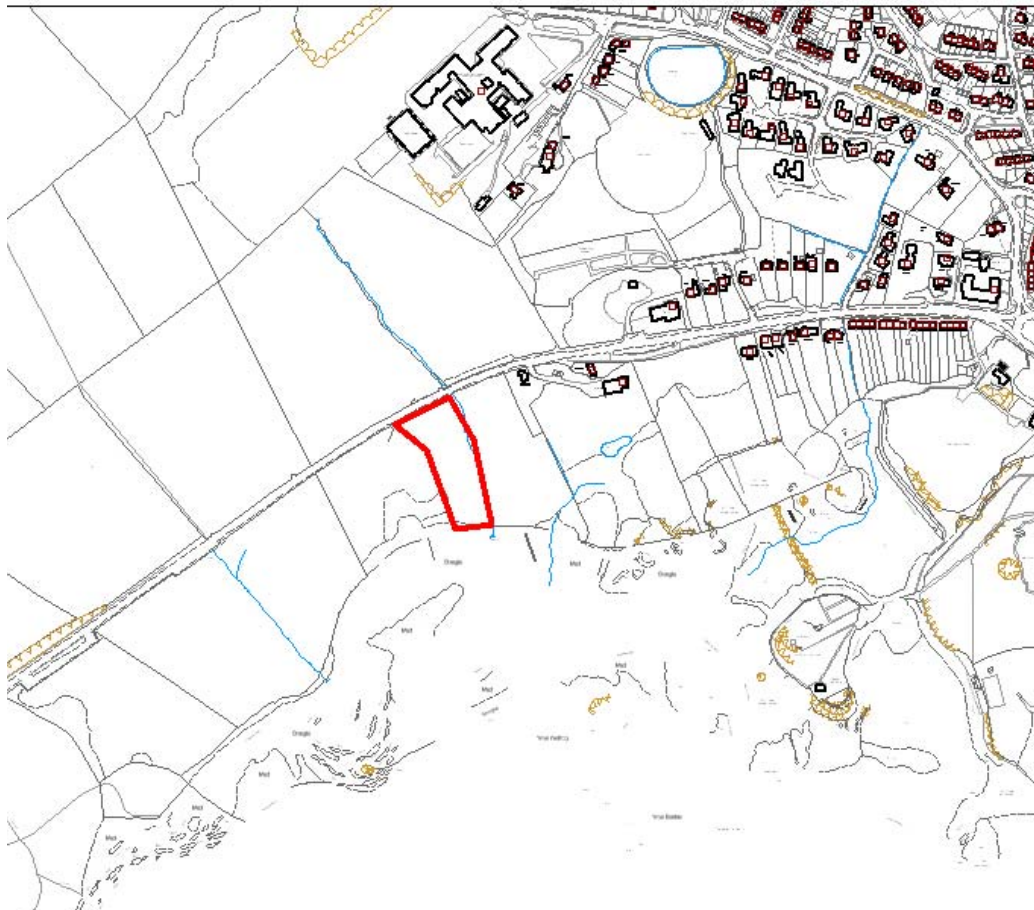
Rhif y Cais: **39C561/FR/TR** Application Number

Ymgeisydd Applicant

Mr George Ulrich

Cais llawn ar gyfer codi Canolfan Zorb ynghyd a chreu mynedfa i gerbydau a maes parcio ar dir yn / Full application for the erection of a Zorb Centre together with the construction of a vehicular access and car park on land at

The Lodge, Ffordd Caergybi / Holyhead Road, Porthaethwy / Menai Bridge



Planning Committee: 06/07/2016

Report of Head of Planning Service (GJ)

Recommendation:

Defer

The applicant has requested that the application is deferred due to ongoing negotiation with the Welsh Assembly Government regarding highway issues.

As the proposals constitutes a departure from a standard application, it will be reviewed by an independent panel of the Welsh Assembly Government, who only meet once a month in Cardiff, who are next meeting on the 12/07/16.

It is considered suitable to defer the application as the outcome of discussions may influence the recommendation of the Local Planning Authority.

7.1

Gweddill y Ceisiadau

Remainder Applications

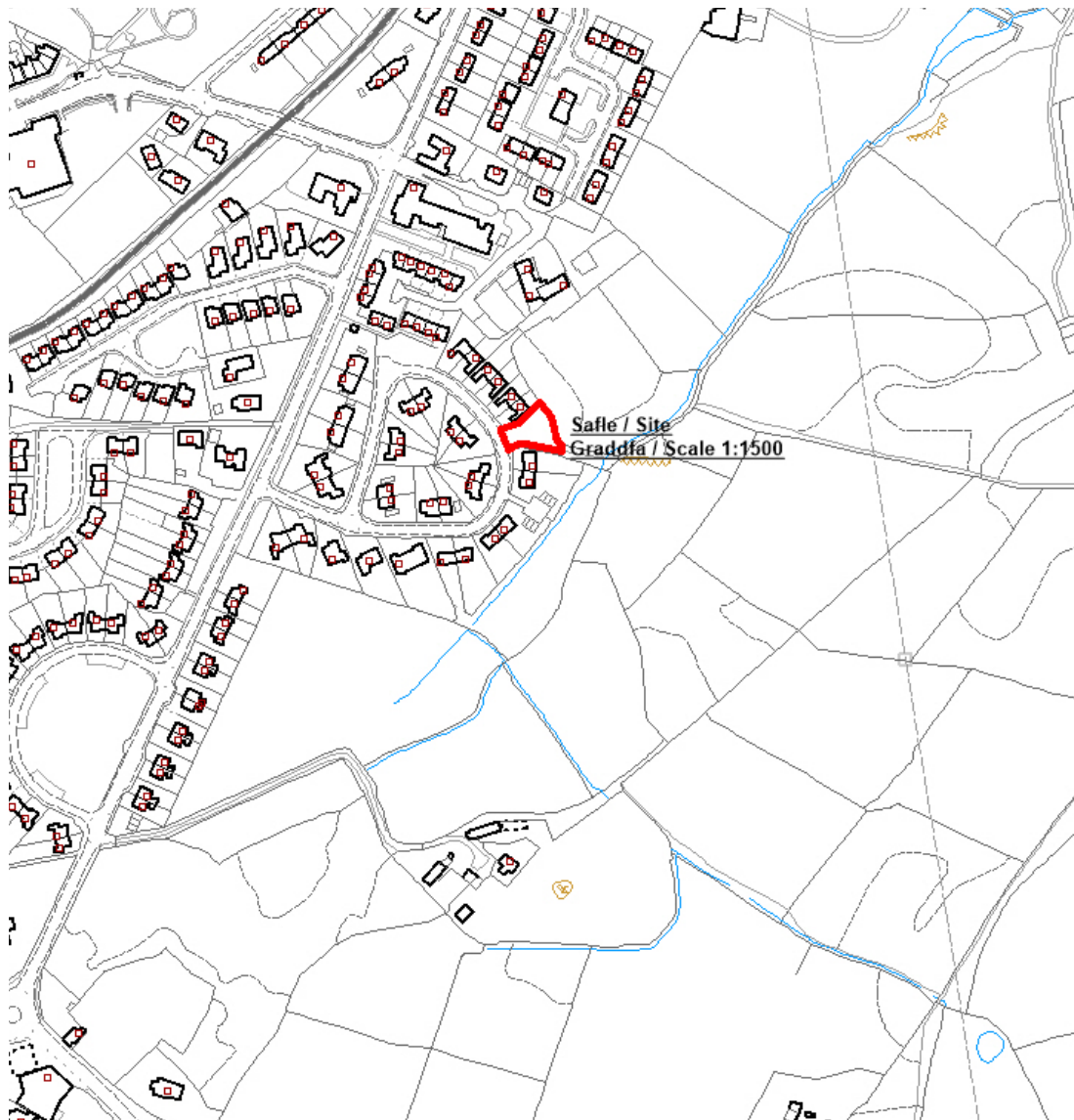
Rhif y Cais: **11C567A** Application Number

Ymgeisydd Applicant

Mr David Rothwell

**Cais llawn i godi dau annedd un talcen ynghyd a creu mynedfa newydd i gerbydau ar dir ger /
Full application for the erection of two semi-detached dwellings together with the construction
of a vehicular access on land adjacent to**

24 Awelfyn, Amlwch



Planning Committee: 06/07/2016

Report of Head of Regulation and Economic Development Service (MTD)

Recommendation:

Permit.

Reason for Reporting to Committee:

On request of Local Member, Councillor R. O. Jones.

At its meeting held on 1st June, 2016 the Committee resolved to undertake a site visit prior to determining the application and the site was visited on 15th June.

Following the lodging of an appeal against the failure to determine this application, the Local Planning Authority is now precluded from issuing a decision. Members should now confine their attention as to whether they wish to challenge the appeal and if so on what grounds.

1. Proposal and Site

It is proposed to construct two dwellings which will be attached and constructed on split levels due to the sloping nature of the site.

The site itself is wedge shaped and located alongside a footpath on the Awelfryn Estate circular road.

The site is vacant and unkempt.

2. Key Issue(s)

- Principle of development
- Suitability of site and effect on amenity
- Highways issues.

3. Main Policies

Gwynedd Structure Plan

Policy A2: Location of Housing Land

Policy D3: Landscape

Policy D4: Siting and Design

Policy FF12: Parking

Ynys Môn Local Plan

Policy 1: General Policy

Policy 26: Parking

Policy 31: Landscape

Policy 42: Design

Policy 48: Housing Development Criteria

Policy 49: Defined settlements

Ynys Môn Unitary Development Plan (Stopped)

Policy GP1: Development Control Guidance

Policy GP2: Design

Policy EN1: Landscape
Policy TR10: Parking Standards
Policy HP3: New Housing Development
Policy SG4/6: Drainage

TAN 12: Design

Planning Policy Wales, 8th Edition

SPG Design Guide for the Urban and Rural Environment

4. Response to Consultation and Publicity

Local Member R O Jones: Requested that the application be presented to the Committee

Town Council: Concerns regarding overdevelopment and parking

Highways: Conditions

7 letters and a petition (some signatories also wrote separately) containing 14 signatures have been received points raised include;

No demand;
Overdevelopment;
Harm amenities;
Overshadowing;
Loss of light;
Will be on a higher level;
Gable windows will overlook;
There is limited parking in the area and this will make it worse;
Why necessary to move footpath sign;
Not affordable for local people;
Not in character;
Devalue properties;
Difficult for emergency vehicles during construction;

Parking on street will be made worse pedestrians already have difficulty using pavement.

5. Relevant Planning History

11C567: Full application for the erection of a dwelling together with the construction of a vehicular access an land adjacent to 24 Awelfryn, Amlwch. Approved – 24/06/2011

6. Main Planning Considerations

The site is located within the settlement boundary and as such the principle of development is considered acceptable.

The previous planning application which was approved was for a similar sized building occupying a similar footprint. That permission was however for one dwelling.

The proposed dwellings will be at a height which lies between those either side. It is considered that

the relationship with the adjacent properties will not be harmful to their amenities and will be similar to that which exists elsewhere on the estate.

The balconies will not be detrimental to amenities by virtue of their orientation and position, some views of the adjacent properties garden will be available but this would be achievable with windows as is exhibited elsewhere.

Whilst it is acknowledged that there is on street parking the Highways Authority do not object to the scheme.

8. Recommendation

To **permit** the development subject to conditions.

(01) The development to which this permission relates shall be begun not later than the expiration of five years beginning with the date of this permission.

Reason: To comply with the requirements of the Town and Country Planning Act 1990.

(02) Full details of boundary treatments including works of retention shall be submitted to the Local Planning Authority for its written approval prior to the commencement of any works.

Reason: In the interests of amenity.

(03) The upper floor side windows shall be obscure glazed at all times.

Reason: In the interests of amenity.

(04) Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (Amendment) (Wales) Order 2013 (or any Order revoking or re-enacting that Order), the development permitted by Classes A, B, C, D, E and F of Part 1 of Schedule 2 are hereby excluded.

Reason: In the interests of amenity.

(05) Notwithstanding the submitted plans and unless otherwise agreed in writing with the Local Planning Authority the public footpath adjacent to the site shall be no narrower than 1.8m along its length where it adjoins the application site.

Reason: In the interests of the safety of users of the footpath.

(06) The vehicle driveways shall be constructed with its gradient not exceeding 1 in 20 for the first 5 metres back from the nearside edge of the adjoining footway.

Reason: In the interests of highway safety.

(07) The access shall be constructed with * metre by * metre splays on either side. Within the vision splay lines nothing exceeding 1 metre in height above the level of the adjoining carriageway shall be permitted at any time.

Reason: In the interests of highway safety.

(08) No surface water from within the curtilage of the site to discharge onto the county highway. No development shall commence until full design details for the drainage of the site have been submitted to and approved by the Local Planning Authority. No dwelling shall be occupied until the approved scheme has been implemented in full and to the written satisfaction of the Local Planning Authority.

Reason: In the interests of highway safety

In addition the Head of Service be authorised to add to, remove or amend/vary any condition(s) before the issuing of the planning permission, providing that such changes do not affect the nature or go to the heart of the permission/ development.

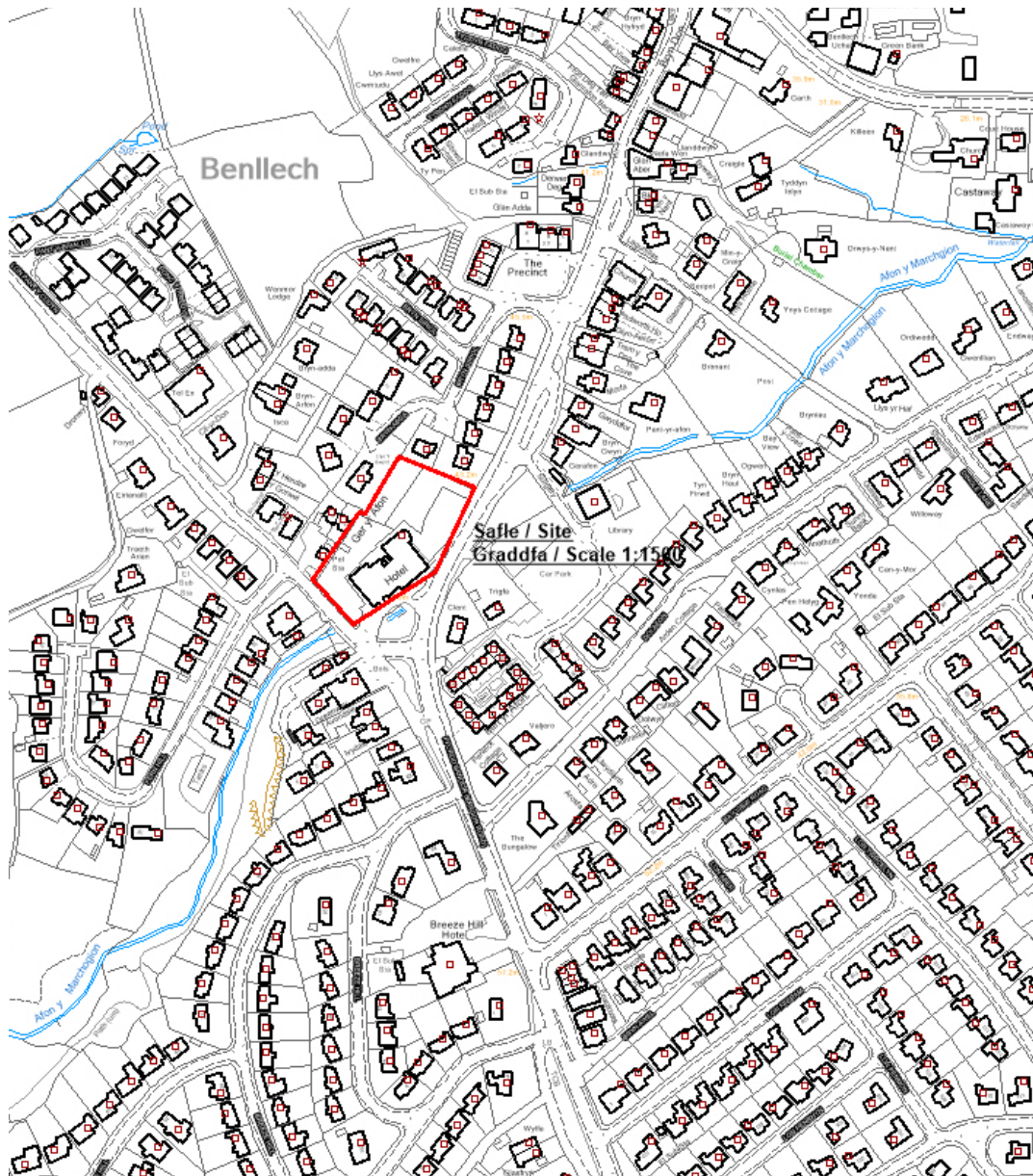
Rhif y Cais: **30C302M** Application Number

Ymgeisydd Applicant

McCarthy and Stone Retirement Lifestyles Ltd

Cais llawn i ddymchwel yr adeilad presennol ynghyd a chodi bloc o fflatiau (36 fflatiau) yn ei le yn / Full application for demolition of the existing building together with the erection of a block of flats (36 flats) in its place at

Plas Glanrafon Hotel, Benllech



Planning Committee: 06/07/2016

Report of Head of Regulation and Economic Development Service (MTD)

Recommendation:

Permit.

Reason for Reporting to Committee:

On request of Local Member Derlwyn Hughes.

This is also a major application which in the opinion of the Officer should be brought to Members attention.

At its meeting held on the 1st June, 2016 the Committee resolved to undertake a site visit prior to determining the application and the site was visited on 15th June.

1. Proposal and Site

It is proposed to demolish the existing Glanrafon Hotel and construct an apartment block containing 35 residential retirement homes. Included will be a residents lounge, internal refuse room, battery charging room (buggies), secure entrance lobby, house manager's office, guest suite, gardens and parking spaces.

The building will be part 3 and 4 storey with access onto Bangor Road and Lôn Pant y Cudyn.

McCarthy & Stone's lease restricts the age of the occupiers. While anyone may purchase an apartment, the apartments are sold on the basis of a 999 year lease requiring the accommodation to be occupied by persons over 60 years. In the case of a couple, that part of the lease shall be satisfied where one of the occupants is over the age of 60 years and the other is over the age of 55 years. The manager will have an office but will not live on the premises. The manager will be on duty during normal working hours and there is a 24 hour careline within the development so the residents can summon assistance if any emergencies arise when the manager is not on duty. The residents have to pay a service charge which covers the manager's salary and the upkeep and maintenance of the communal facilities.

2. Key Issue(s)

- Principle of development
- Amenity issues
- Affordable housing
- Flooding
- Highways considerations

3. Main Policies

Gwynedd Structure Plan

Strategic Policy 1 - Settlements

Strategic Policy 5 - Welsh language

Policy A1 - Housing Supply

Policy A2 - Location of Housing Land

Policy A3 - Scale and Phasing

Policy D1 - Environment

Policy D4 - Siting and Design
Policy CH4 - Serviced Accommodation

Ynys Môn Local Plan

Policy 1 - General Policy
Policy 26 - Car Parking
Policy 42 - Design
Policy 48 - Housing Development Criteria
Policy 49 - Defined Settlements
Policy 51 - Large Sites

Ynys Môn Unitary Development Plan (Stopped)

Policy GP1 - Development Control Guidance
Policy GP2 - Design
Policy TR10 - Parking Standards
Policy HP2 - Housing Density
Policy HP3 - New Housing Development- Main and Secondary Centres
Policy HP7 - Affordable Housing
Policy HP11 - Residential and Nursing Homes
Policy SG2 - Development and Flooding
Policy SG4 - Foul Sewage Disposal
Policy SG6 - Surface Water Run Off

Planning Policy Wales (Edition 8)

TAN 15: Development and Flood Risk

TAN 12: Design

SPG Design Guide for the Urban and Rural Environment

4. Response to Consultation and Publicity

Local Member D Hughes: Wishes the application to be presented to the Committee.

Highways: Conditions

Natural Resource Wales: Conditions

Welsh Water: Conditions

48 letters have been received including 5 objecting.

Points raised in objection include;

There will be overlooking;
Increase in traffic;
Development does not have adequate parking;
Design is out of place not respecting that surrounding;
No benefit to the area add pressure to adult social services;
Not affordable to locals;
Invasion of privacy all windows to the rear some with Juliet balconies will overlook;
The people in favour of the development do not live near it;

Where will construction traffic park;
Building too high and will have an oppressive impact and will blot the skyline;
Loss of views;
Overbearing impact on amenities;
Erosion of Welsh language;
Health dangers from substation and noise;
Lack of car parking cause on street problems;
No fence to keep one mature scots pine;
What fencing is proposed to retain privacy;
Dining room extension not shown on plan of no7 Bryn Siriol

Letters of support relate to improvement in appearance and that will provide an attractive type of unit.

5. Relevant Planning History

None relevant to this application.

6. Main Planning Considerations

Principle of development

The site is located within the boundaries of the settlement where the principle of housing development can be supported.

The proposal does however entail the loss of a hotel.

In respect of this it should be acknowledged that the building has been redundant for a number of years and is falling into disrepair. Furthermore, a Viability Report has been submitted with the application, this shows that the projected profit and loss figures show a very poor level of trading with negligible profit capability. This along with the significant investment needed to refurbish the building to a tradable standard would not make it viable to maintain the use.

Amenity issues

This part of Benllech exhibits a wide range of styles and designs. It cannot be said to be homogenous in form.

Whilst the building is part 4 storey, its design does not make it obtrusive in the streetscene or over dominant. It will replace a substantial building which is falling into disrepair and it is considered this will serve to enhance this town centre location.

South East Boundary

The elevation along Bangor Road steps from four storeys at the southern end down to three storeys and then to the northern end three storeys with dormers. The three storey massing to the middle of the elevation mirrors the proportions and eaves line of the existing hotel building. The block to the northern end of the elevation drops to three storeys with dormers to reduce the ridgeline of the block to help retain views over the proposed new building to the coastline of the sea views for the houses to the north west of the site. In addition, the use of dormer windows mirrors the adjacent houses. The four story block to the southern end of the elevation steps up to four storeys to create a transition point between the topography of the site which steps a storey in height from the north east to south west. As existing, there is 29m between the building on site and the adjacent house. The new development increases this by 5m to 34m.

South West Boundary

The elevation along Lon Pant Y Cudyn is three storeys in height. Although higher than the existing building the proposed building is set a further 6m back from the site boundary and houses adjacent. Currently there is 36.5m between the existing building and adjacent houses; the proposed development increases this to 42.5m. The elevation also creates a better streetscape due to the front facing nature of the elevation onto the street unlike the existing building which has no relationship with the street or adjacent houses and creates the sense of a rear car park and back of house type buildings.

North West Boundary

The elevation along the north west boundary of the site comprises a mixture of building heights to accommodate both the site topography and the neighbouring houses. The step in ridgeline from south to north has been used to allow the views from the properties to the north west to be retained over the roof of the proposed building out to the coast and sea. The police station to the north west boundary corner is adjacent to a proposed gable. Although the building footprint has moved closer to the boundary at this point from 16.5m to 12m the proposed gable has no primary windows out overlooking it at upper levels. The residents' lounge to the ground floor does have glazing but this sits lower than the police station site and views overlooking the police station grounds are prevented. Although development is proposed where the existing car park is adjacent to the neighbouring property Llys y Gwynt, a distance of 29m is retained between the elevations of the two. The two houses located between the police station and Llys y Gwynt is orientated south west to north east therefore their aspect does not look directly to the site. The gable adjacent to the site does not have windows, therefore overlooking into the rooms of this house is not possible. The elevation of the proposed building that does have windows is set back 21m from the boundary to prevent overlooking issues directly into the gardens of these properties. In addition, due to the topography of the site the three storey block proposed here is actually at a lower ground level than the neighbouring houses. This visually reduces the impact of the block to two storeys when viewed from this boundary. The existing hedge along this boundary creates a visual buffer between the site and neighbouring gardens for privacy.

North East Boundary

The elevation along the north east boundary of the site comprises of a three storey with dormers block. Although the building footprint is closer than the previous hotel to this boundary going from 45m to 30m, the gables are still sufficient distance from the neighbouring properties. There are no primary facing windows to the neighbouring properties with all lounge and bedrooms facing in alternative orientations to prevent overlooking.

It should be noted that this is a town centre location where higher housing densities can be expected along with buildings being in closer proximity

Given the above it is considered that the proposals are acceptable subject to a condition restricting some windows to being of an obscured nature.

A tree which was originally shown to be removed has been conditioned to be retained following an assessment as to its amenity value. This will necessitate the loss of 2 parking spaces but this is not considered to be unacceptable and will not have a material impact on highway pressure.

Overshadowing

The most affected properties would be 1 and 2 Lon Pant y Cudyn and the assessment has been made in respect of these.

Mid-winter (December 22nd)

At 9am, the new development does cast a shadow that reaches these dwellings. It is worth noting that this is also the case for the shadow cast by the existing building. By noon, the shadow cast by the proposed building does not impact on the dwellings and by 3pm it is dusk and the entire area is in shadow due to the sun being at its lowest point in the sky during the entire year.

Spring Equinox (March 20th)

Demonstrates that the neighbouring dwellings are not impacted by shadow cast by the proposed building at any point during the day.

Mid-Summer (June 21st)

Demonstrates that the neighbouring dwellings are not impacted by shadow cast by the proposed building at any point during the day.

Autumn Equinox (September 23rd)

Demonstrates that the neighbouring dwellings are not impacted by shadow cast by the proposed building at any point during the day.

Affordable Housing

Due to the number of units proposed there is a requirement that an element of affordable housing or a financial contribution to the Housing fund is made. Following negotiations in respect of the viability of the scheme it has been accepted that a financial contribution of £150,000 should be secured.

Flooding

Part of the site is within flood Zone C2 as per the development advice maps accompanying TAN15.

A Flood Consequence Assessment has been submitted as part of the application. This demonstrates that the development should not flood internally during the design event of 1:100 years. There has been historic flooding to Bangor Road and the proposal will not change the current overland routes and as such the proposal should not increase flood risk elsewhere. During the extreme event (0.1%) flood depths are not likely/possible to exceed that as stated in TAN 15: Development and Flood Risk.

With the above matters in mind NRW do not object to the scheme and suggest conditions of mitigations. Furthermore it is considered that in light of the requirements of TAN 15 where development in C2 zones is restricted and the information provided by the applicants and NRW the proposal is acceptable in this location.

Highways

The Highways Authority have been consulted in respect of the application and raise no objection and suggest conditions.

Protected Species

An Ecological Report has been submitted which shows no evidence of protected species present but

suggests ways of providing for bats with suitable bat boxes and lighting. These details are acceptable to NRW.

7. Recommendation

To **permit** the development subject to the following conditions and to a Section 106 Agreement to secure payment of a £150,000 commuted sum in respect of affordable housing.

(01) The development to which this permission relates shall be begun not later than the expiration of five years beginning with the date of this permission.

Reason: To comply with the requirements of the Town and Country Planning Act 1990.

(02) Unless otherwise agreed in writing the gable end first and second floor windows of units 29,30, 35 and 36 shall be obscure glazed at all times and openable in a manner to be agreed with the Local Planning Authority.

Reason: In the interests of amenity.

(03) The access shall be laid out and constructed strictly in accordance with the submitted plan before the use hereby permitted is commenced and thereafter shall be retained and kept free from permanent obstruction and used only for access purposes.

Reason: In the interests of highway safety.

(04) The highway boundary wall/hedge/fence or any new boundary erected fronting the highway shall at no time be higher than 1 metre above the level of the adjoining county road carriageway along the whole length of the sites boundary with the adjoining highway and nothing exceeding this height erected within 2 metre of the said wall/hedge/fence or any new boundary.

Reason: In the interests of highway safety.

(05) The car parking accommodation shall be completed in full accordance with the details as submitted before the use hereby permitted is commenced and thereafter retained solely for those purposes.

Reason: In the interests of highway safety.

(06) The proposed upper ground floor level should be set no lower than 49.22m above ordnance datum. The proposed lower ground floor level should be set no lower than 46.3m.

Reason: To safeguard the development from flooding.

(07) Details of the proposed retaining/boundary wall (including crest height min. 0.5m above adjacent pavement levels) and construction type to be submitted and approved by the Local Planning Authority.

Reason: To ensure that surface and fluvial overland flood flow routes are maintained and not introduced onto the site

(08) Details of the proposed surface water disposal arrangements to be submitted and agreed with the Local Planning Authority. Any discharge into the adjacent river should be reduced to that of existing rates from the application site. The use of sustainable drainage principles should be adopted if achievable.

Reason: To ensure a satisfactory method of disposal and not to overload the receiving watercourse

In addition the Head of Service be authorised to add to, remove or amend/vary any condition(s) before the issuing of the planning permission, providing that such changes do not affect the nature or

go to the heart of the permission/ development.

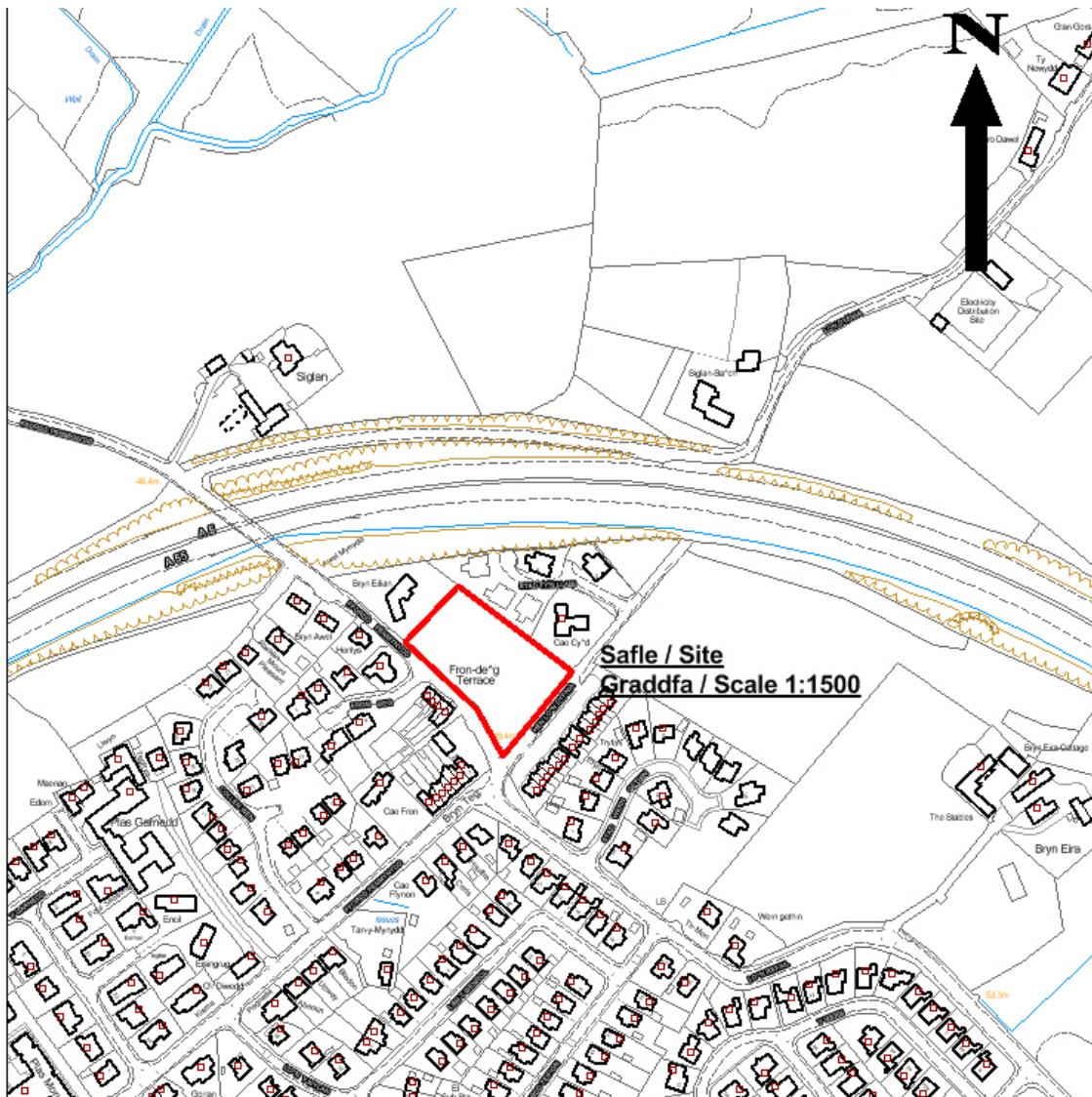
Rhif y Cais: 31C170D Application Number

Ymgeisydd Applicant

Rectory Developments Anglesey Ltd

Cais llawn i godi 17 anedd (12 gyda 2 ystafell wely, 4 gyda 3 ystafell wely a 1 byngalo gyda 3 ystafell wely) ynghyd a chreu mynedfa newydd i gerbydau ac i gerddwyr ar dir ger / Full application for the erection of 17 dwellings (12 with 2 bedrooms, 4 with 3 bedrooms and 1 bungalow with 3 bedrooms) together with the construction of a new vehicular and pedestrian access on land adjacent to

Hen Lon Dyfnia, Llanfairpwll



Planning Committee: 06/07/2016

Report of Head of Regulation and Economic Development Service (NJ)

Recommendation:

For Information and confirmation

Reason for Reporting to Committee:

The application site is located outside, albeit adjoining the Local Plan development boundary for Llanfair and the application has been advertised as a departure from the Local Plan.

Cllrs Meirion Jones and Alun Mummery have also requested that the Committee determine the application.

At its meeting held on 11th May 2016 the Committee resolved to undertake a site visit prior to determining the application and the site was visited on 18th May.

The applicant has appealed against non-determination and the public inquiry procedure has now commenced.

The Committee resolved to refuse the application at its meeting held on 1st June because of concerns regarding:

Overdevelopment;
Drainage;
Flooding.

Members are asked to confirm that they intend to take all three reasons forward in the appeal.

This page is intentionally left blank

8.1

Ceisiadau'n Economaidd

Economic Applications

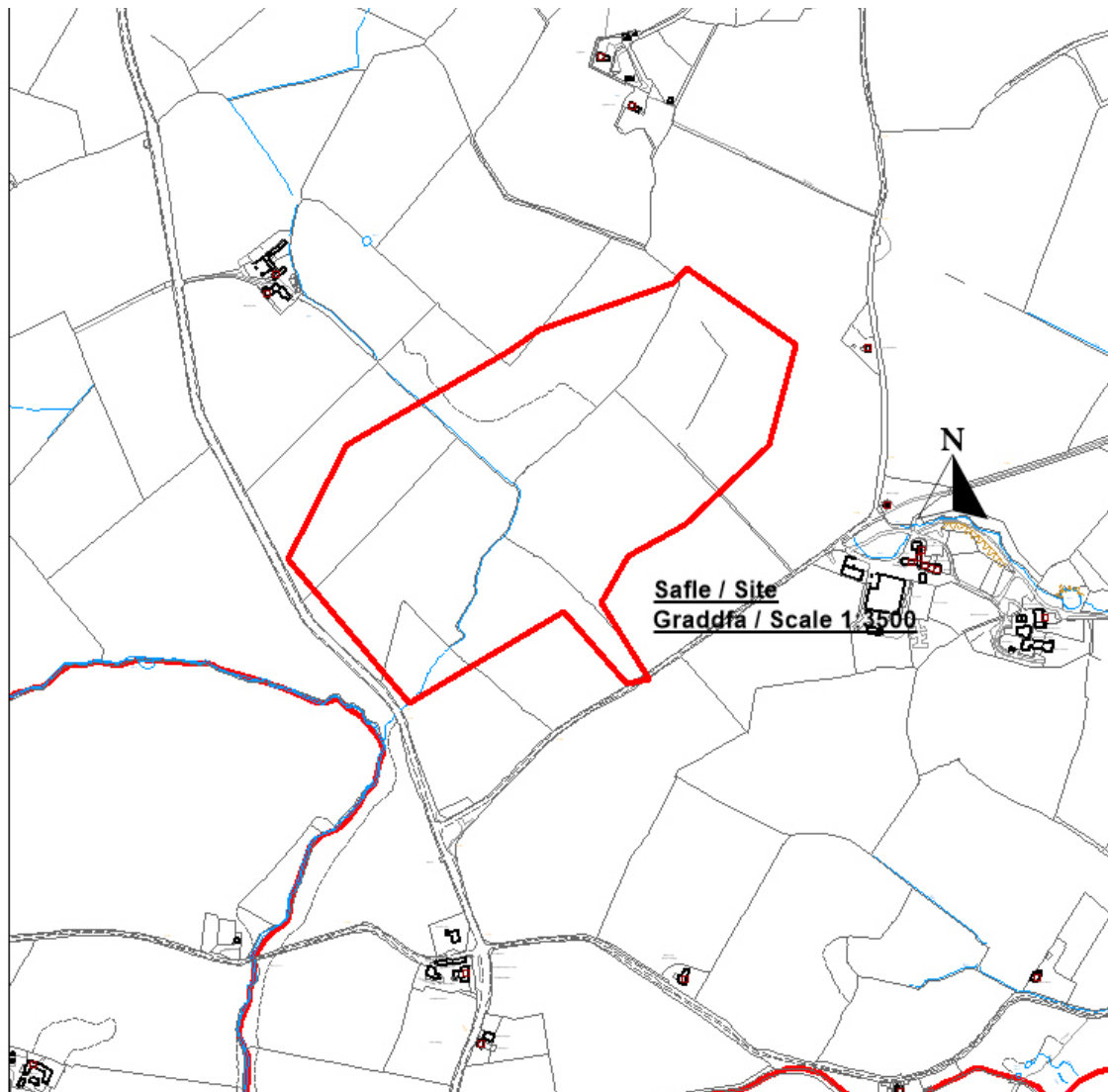
Rhif y Cais: **24C300A/ECON** Application Number

Ymgeisydd Applicant

Llys Dulas Estate Co

Creu llynoedd ar gyfer defnydd pysgota a hamdden, codi siop/caffi a adeilad storfa ategol ynghyd a ffyrdd mynedfa a manau parcio cysylltiedig a gosod tanc septig newydd ar dir yn ffurfio rhan o / Formation of lakes for fishing and recreation use, erection of an ancillary shop/cafe and a storage building together with associated access roads and parking areas and the installation of a new septic tank on land forming part of

Tyn Rhos Fawr, Dulas



Planning Committee: 06/07/2016

Report of Head of Regulation and Economic Development Service (DPJ)

Recommendation:

Permit

Reason for Reporting to Committee:

The planning application's context and scale requires consideration by the Planning Committee.

Members of the Planning and Orders Committee previously convened a site visit in July 2015.

1. Proposal and Site

The application site comprises agricultural land amounting to around 25.69 hectares in area. Topographically the application site generally slopes down to the south and towards Traeth Dulas. To the south west there is junction of the Class 3 road and the A5025 which also bounds boundary of the application site in this direction.

There is a Public Right of Way (43 Llanelian) approximately 150 meters to the east of the application site.

The nearest residential property is located to the north west and elevated above the application site at "Gwlybycoed".

In planning policy terms the application site is located in the countryside and within an area which is designated a Special Landscape Area ("SLA") in planning policy terms. The land of the opposite side of the road comprises part of the Area of Outstanding Natural Beauty ("AONB").

The proposal entails the phased construction of a series of 6 lakes amounting to around 8 hectares in area and holding a total volume of 120,299m³ of water. Approximately 87,838m³ of this volume will be retained in one lake which would comprise a reservoir because it will be constructed using an earthwork retaining structure to hold the water. Similarly lakes 4 and 5 will also comprise reservoirs having a capacity of 4,545m³ and 4,381m³ respectively. Lakes 1, 2 and 3 are primarily below ground and do not have retaining embankments, the water is stored below natural ground level. Their volumes are as follows:

Lake 1 – 5,755 m³

Lake 2 – 5,836 m³

Lake 3 – 7,321 m³

The lakes would be used for recreational boating and angling purposes by the general public. The largest lake would be filled and topped with water from an existing watercourse which traverses the application site and thereafter runs through a culvert under the A5025. The smaller lakes would be manually topped up with water from largest lake when necessary.

The proposal would require substantial earthworks in order to form water retaining structures, of around 5-7 meters above the level of the A5025 with bank gradients of between 1:3 and 1:2. The areas subject to the earthworks and other surrounding areas amounting to 7.8 hectares within the red

line plan would following the development still be used for agricultural purposes as sheep grazing areas. None of the materials excavated in the course of these earthworks would be removed from the application site.

In terms of built development a spillway for excess water would extend above ground from the largest lake to the culvert under the A5025. A new vehicular access would be created from the Class 3 highway which bounds the site to the south. The Class 3 highway has been widened to the point of the proposed vehicular access as part of highway improvements undertaken to the junction with the A5025. Stone tracks incorporating cattle grids would extend around the main lake to car parking areas which will accommodate around a 100 cars and restaurant /shop building. Substantial areas of landscaping areas are illustrated on the submitted plans.

2. Key Issue(s)

The acceptability of the principle of the development having regard to development plan and other material planning policies.

Landscape and Visual impact.

Flooding and safety considerations.

Highway Safety & Sustainability Considerations

Residential Amenity.

Ecology

Public Rights of Way

Loss of Agricultural Land

3. Main Policies

Gwynedd Structure Plan

CH1 Recreation and Tourism Development

D1 AONB

D3 Special Landscape Area

D4 Location, Siting and Design

D7 Agricultural Land

D15 Archaeology

D28 Natural Mineral Slate

D29 High Standard of Design

D32 Landscaping Scheme

FF12 Parking Standards

Ynys Mon Local Plan

1 General Policy

26 Car Parking

31 Landscape

32 Loss of Traditional Agricultural Features

35 Nature Conservation

39 Archaeological Sites

42 Design

Stopped UDP

GP1 Development Control Guidance

GP2 Design

TR10 Parking Standards

TO1 New Attractions and Extensions to Existing Attractions

TO8 Water or Boating Facilities
EN1 Landscape Character
EN2 Areas of Outstanding Natural Beauty.
EN4 Biodiversity
EN9 Water Conservation
EN12 Archaeological Sites and the Historic Environment
EN14 Tree Preservation Orders and Hedgerows
EN16 Landscape Features of Major Importance for Flora and Fauna.
SG2 Development and Flooding.
SG3 Controlled Waters
SG4 Foul Sewage Disposal
SG5 Private Sewage Treatment Facilities
SG6 Surface Water Run Off

Planning Policy Wales, 8th Edition

Technical Advice Note 5 - Nature Conservation and Planning
Technical Advice Note 6 – Planning for Sustainable Rural Communities
Technical Advice Note 12 - Design
Technical Advice Note 13 - Tourism

Supplementary Planning Guidance Parking Standards
Supplementary Planning Guidance Design in the Urban and Rural Built Environment
Anglesey AONB Management Plan 2015 - 2020

4. Response to Consultation and Publicity

Councillor Aled Morris Jones – No objections.

Llaneilian Community Council – State that flooding problems have occurred at the bottom of GwlybyCoed Hill but that it does not occur any more as a result of works undertaken; they hope that the project will not result in further problems.

Highways - It is noted that the embankment adjacent the main A5025 highway has been amended with the severity of the slope gradient slightly reduced and the edge of the lake now being further away from the carriageway. The proposed scheme has also been discussed with our Head of Service and as a consequence of the above amendments and subject to the provision of the detailed breach analysis as recommended by the All Reservoirs Panel Engineer, the Highway Authority has no further objection in principle. It is also confirmed that the submitted Traffic Assessment and Sustainability Assessment has been assessed as acceptable and conditions are recommended to be attached to any planning permission granted.

In summary no objection subject to the obligations and planning conditions recommended the details of which are being finalised at the time of writing the report.

Drainage Officer – All drainage issues concerns previously raised had been considered in the latest assessment report and land drainage proposals seem satisfactory in principle.

Landscape Officer – It was not considered that there would be significant effects on the AONB or the Landscape Character Area as a result of the proposed development and that the visual effects of the construction can be regulated and mitigated by appropriate measures such as phasing and landscaping.

The proposed development may affect the setting of the AONB in the short term during the construction phase which will be mitigated by the use of appropriate screen planting. Long range views of the application site are limited and it is not considered that the proposed development will result in significant effects on the sensitive receptor of the AONB or its setting. Further it is considered that the proposed development will in time help preserve and enhance the AONB by changing the species poor grazing land to a more diverse natural landscape.

Ecological Officer – The proposal should bring some overall wildlife gain to the site, much of which is at present improved grassland. Also confirmed that there are no protected species or NERC issues.

Environmental Services - Have recommended stipulations in relation to the operating hours for construction/rock breaking, and have confirmed that there are separate legislative provisions which include the control noise, alcohol and entertainment.

Welsh Language Impact Officer – Satisfied with the submitted Welsh language statement and the mitigation proposed therein which requires the use of a Bi-lingual place/business name for the development, signage, leaflets and a website.

British Gas Transco - Observations awaited at the time of writing.

National Grid Plant Protection – Observations awaited at the time of writing.

Natural Resources Wales – The works will require that the Panel Engineer overseeing the design and construction of the dams should notify us of his appointment as per the requirements of the Reservoirs Act 1975.

The proposal is located adjacent the Anglesey Area of Outstanding Natural Beauty (AONB) where the primary objective is the conservation and enhancement of natural beauty. Providing detailed design aspect of the project are completed to the satisfaction of the planning authority, it is considered unlikely that this project will have a significant impact upon this protected landscape. We also advise that the landscape planting should use native species only, including species that suit the natural features of the area (e.g. gorse).

NRW have confirmed that they do not consider that there will be any adverse effect on the Gell y Coed Site of Special Scientific Interest.

Openreach – No observations received.

Scottish Power Energy Networks – There are high voltage (11KV) and extra high voltage (33KV) electricity distribution lines crossing the site which would require diverting should the proposal go ahead.

Welsh Government Agriculture – Whilst it does not hold any detailed survey work for the site, having reviewed the available desk top information that they would expect the application site to comprise Agricultural Land Quality Grade 3b or 4.

Welsh Water - No observations received.

7 letters objecting to the planning application on the following grounds were received:

Development will be to the detriment of local residents.

Development will be to the detriment of wildlife, including Curlew and Plover.

Noise from power boats as well as sailing.

Impacts on residential amenity by virtue of motorised boats, late opening hours of the café as a licensed premises, night time fishing, the height of the development/landscaping, special events held at the development, amplified sound or music. There should be controls on motorised craft, amplified sound, opening hours, and lighting.

One writer states that the proposed development would be situated a field away from the front of their property. The closest neighbours are currently two fields way which gives some indication of the impact that the proposal will have.

Mention is made of special events but no specific description of these is provided. These need to be listed in and controlled in any approval, for example, fishing competitions only since events could be anything.

Opening hours are given as 8am to 8pm but mention is also made to 24 hour fishing.

Impacts on the stream and water abstraction more generally in terms of filling the proposed lakes with water.

Poor visibility at the junction of the A5025 and the Class 3 road proposed to be used to access the site.

Impact of the development on the electricity poles crossing the application site and which serve the writers property.

How will the remaining fields around Gwlybycoed be accessed as the entrance is from the entrance which will form the access to the proposed development.

Have the applicant's supplied a long term maintenance plan to ensure that if the development fails due to economic circumstances and the lake banks were not inspected/maintained there could be the possibility of a breach with the resultant consequences. Any maintenance plan should also require the removal of buildings on the application site.

The impact of the development on the amenities of the rural area and the AONB.

If the planning permission is granted then there should be screen planting with appropriate species around the car parks and along the boundary with the A5025.

Has there been any expert advice obtained as to whether diverting a large volume of water from reaching Dulas Estuary will cause the already very narrow gap to the sea to slit up and cause the area to be landlocked marsh?

A writer contends that this is expected to be the first part of the development with applications to follow for camping, caravans, chalets, marquis as per the applicant's Chester Lakes Development.

5. Relevant Planning History

24C300: Formation of lakes for fishing and recreation use, erection of a shop and café including a storage building together with associated access roads and parking areas together with a new septic

tank. Returned to applicant 26.03.12.

24C300B/SCR: Screening opinion for the formation of lakes for fishing and recreation use, erection of a shop and café and a storage building together with associated access roads and parking areas and the installation of a new septic tank. Withdrawn no screening opinion issued.

24C300C/SCR: Screening opinion for the formation of lakes for fishing and recreation use, erection of a shop and café and a storage building together with associated access roads and parking areas and the installation of a new septic tank. To be advised.

6. Main Planning Considerations

Principle of Development - Policy CH1 of the Gwynedd Structure Plan states that proposals for recreation and tourist development will be permitted where they accord with the policy framework of the plan which is aimed at the creation of employment, and the safeguarding of the environment and the local community.

Policy 2 (New Jobs) of the Ynys Môn Local Plan states that on sites outside existing settlements, the council will permit employment developments only in exceptional circumstances where the applicant has been able to demonstrate specific locational requirements and economic benefits which would justify allowing the proposal. The written justification at paragraph 3.18 states that the Council will only allow new employment development sites away from existing settlements in exceptional circumstances, normally relating to recreation and tourism proposals.

Policy EP4 (Other Employment Opportunities and Rural Diversification) whilst not explicitly referring to tourism states that proposals which increase or diversify the range of employment opportunities, including rural diversification, will be permitted where they are of a scale and type compatible with the surrounding area or do not cause significant harm. The policy indicates that sites will not be permitted where there are suitable brownfield or allocated land available.

Policy TO1 of the Stopped UDP states proposals to further develop existing or create new, tourist attractions will be permitted providing they do not cause significant harm to the environment. The reasoned justification of the policy explains that the policy introduces a positive approach to visitor attractions and facilities, to secure employment and increase the range of facilities open to local people.

Policy TO8 of Stopped UDP in relation to water and boating facilities indicates that the small scale development of boating and water sports facilities to expand the provision for local residents and visitors is acceptable providing they cause no unacceptable harm to other interests.

National planning policies in PPW and TAN 23 have in recent years been revised to give greater emphasis on facilitating on employment uses. TAN 23 indicates that sustainable development is essential to building strong rural economies and vibrant communities. A sequential approach is advocated towards employment developments. Similar to the policy 2 of the Ynys Môn Local Plan the TAN indicates that development not allocated in the development plan should only be permitted in exceptional circumstances and must be fully justified.

In planning policy terms the application site is located in the countryside. The proposal aims to introduce a scheme of significant scale into this rural location. Although the policies listed above permit and encourage tourism / boating attractions of the type proposed this is subject to environmental and other considerations being acceptable. Policy EP4 of the Stopped UDP indicates scale and harm are material considerations, and indicates a preference towards brownfield and

allocated sites.

In addition Policy 2 of the Ynys Môn Local Plan states employment developments will only be permitted in exceptional circumstances where the applicant has been able to demonstrate specific locational requirements and economic benefits. The policy is very reflective of recent national planning policy in TAN 23.

In terms of demonstrating a specific location requirement in the countryside the planning application is supported by the following information:

The applicant has confirmed that the purpose of the development is to provide facilities such as fishing, sailing, canoeing, wind surfing and nature trail walks. The applicant has also explained that they operate a 101 bed holiday letting business nearby and that the leisure facilities at the development being applied for will be available to occupants of these holiday let units. They also confirm that the reception facilities for the holiday letting will be operating from the development being applied for.

The planning application is supported by a number of technical reports in connection with the development of the lakes which detail ground conditions, hydrology issues and flood considerations. The reports detail the design and construction consideration for the lakes, including the abstraction rates from the watercourse that flows through the application site

Given the scale and nature of the development being applied for it clear that this is not the type of development which can be accommodated in an urban location.

The development being applied comprising substantially of recreation lakes is of the type of development that is generally associated with requiring a rural location. Additionally the type of recreational pursuits being proposed is of the type that can be reasonably regarded as requiring a rural location. The planning policies listed also support such proposals which are available to local residents as well as tourists. The planning policies listed generally permit development in the countryside in exceptional circumstances, normally relating to recreation and tourism proposals such as that being applied for.

In terms of economic benefits the applicants have provided a breakdown of economic benefits. In the development of the proposals the applicant has indicated that the 3 year build will require 30 full and part time staff and a budgeted expenditure of £2.35 million. Once the development is operational 4 full time staff will be employed in the development with a seasonal staffing requirement of up to 12 people, including tuition staff and water sports experts. The applicant's explain that the Llys Dulas Estate currently operates 15 holiday cottages and a Bed Breakfast totalling 101 beds, and that the development subject to this report will be available in connection with this existing holiday use on their estate.

It can also be surmised from the technical reports submitted in connection with the development of the lakes that there are specific site requirements for the development being applied for which are present on the application site.

Given the policy considerations above it is considered that in principle the development being applied is acceptable in this countryside location subject to the impacts of the scale of the development on the environment and other interests which are considered further in the report below.

Landscape and Visual impact - The Proposed Development is located within a Special Landscape Area "SLA" as defined by the development plan (Gwynedd Structure Plan (November 1993) and the

Ynys Mon Local Plan (December 1996) and other material planning policies in the Stopped Ynys Mon Unitary Development Plan (December 2005). The land to the south of the application site on the opposite side of the Class 3 road forms part of the Area of Outstanding Natural Beauty "AONB".

Objections received and listed in the relevant section of this report are made on the grounds of the impact of the development on the amenities of this rural area and on the "AONB". Other objections received state if planning permission is granted screen planting with appropriate species should be planted around the car parks and along the boundary with the A5025.

In relation to the "AONB" NRW state that section 85 of the Countryside and Rights of Way Act 2000 requires local authorities to have regard to the purposes of conserving and enhancing the natural beauty of the "AONB". They also indicate that providing the detailed design aspect of the project are completed to the satisfaction of the local planning authority, it is considered unlikely that this project will have significant impacts upon this protected landscape.

The Council's Built Environment Section considers that the proposed development may affect the setting of the "AONB" in the short term during the construction phase. This will be mitigated by requiring the phasing of these construction works such that each phase is completed including landscaping implemented prior to the commencement of the next phase. Further it is advised that long range views of the application site are limited and it is not considered that the proposed development will result in significant effects on the "AONB" or its setting, as such they are content with the detailed design of the project subject to the planning conditions recommended in relation to external materials, lighting, phasing of construction and landscaping. It is further advised that the proposed development will in time help in conserving and enhancing the natural beauty of the "AONB" by changing the species poor grazing land to a more diverse natural landscape. Similar wildlife gain or biodiversity are also pointed to by the council's Ecological and Environmental Adviser which having regard to the provisions of the Anglesey AONB Management Plan 2015-2020 will also contribute towards preserving and enhancing the "AONB".

With regard to the wider landscape comprising the "SLA" in which the application is located the landscape principles described above are also applicable and the local planning authority satisfied that the proposed development will fit to its surroundings and in time enhance the general landscape character.

Flooding & Safety Considerations - There are a number of legislative provisions separate to the planning act which will apply to the development.

An Abstraction Licence will also be required from Natural Resources to fill the main lake with water. The licence will stipulate a sustainable abstraction rate and have a low flow cessation clause which will restrict abstraction. The abstraction licence is designed to protect downstream beneficiaries of the water course. In addition an impoundment licence will likely be required to permit the impounding the on-site watercourse with the large lake.

Under the Land Drainage Act 1991 a Flood Defence Consent will be required from the council will be required to allow works to take place that affect the on-site watercourse.

Due to the bunded storage capacity of the largest lake (Lake 6) being greater than 10,000m³ this lake will be classed as a large raised reservoir and will fall under the remit of the Flood and Water Management Act 2010 which amends the Reservoirs Act 1975 "the act". The applicant has also confirmed that lakes 4 and 5 although below the 10,000m³ of the act will also be subject to "the act" as they are located within the earthworks for the retaining structure of Lake 6. As explained in the introduction of this report lakes 1, 2 and 3 are below ground and do not have any retaining structures

so that the water is stored below the natural ground level, these lakes are not subject to “the act”.

NRW have confirmed that under “the act” a Construction Engineer will need to be appointed and then registration will be required with NRW’s Reservoir Safety Team who will consider the risk of the reservoir to human life, categorised as high or low risk. If NRW deem that the reservoir is high risk an additional Supervisory Engineer will need to be appointed. The applicant has confirmed that this development has proceeded on the basis that reservoir will be designated as high risk within the context of these criteria.

One of the representations received states that a long term maintenance plan should be required in the event that due to economic circumstances the banks of the dam were not inspected and maintained. As explained development will be subject to “the act which is a specific piece of legislation to protect the public against the uncontrolled release of water from large raised reservoirs, with reserve and emergency powers provided to NRW to secure this compliance. It is not therefore considered necessary to attach a planning condition duplicating these provisions.

It is not considered reasonable to that any maintenance plan also removes existing buildings forming part of the proposed development as contended objections received as the principle of the development is considered acceptable in principle.

One of the objections received expresses concern regarding the possibility of silting downstream from the development. The objection has been referred to NRW who state that there are unlikely to be significant impacts but that this will be dealt with the permit for the abstraction/impoundment licence process.

Highway Safety & Sustainability Considerations - As explained in the introduction to this report the western boundary of the application site is bounded by the A5025. In the course of determining the planning application amended plans were submitted which reduced the severity of the gradient adjacent to the main lake and moved the development away from the A5025, it was also confirmed that a Construction Engineer and Supervisory Engineer would be appointed in connection with the developments as explained above in the preceding section. On this basis the Highway Authority confirmed that there were no objections in principle to the proposed development given the proximity of the A5025. A bond will, however, be required by the highway authority sufficient to cover the cost of repairing the A5025 in the event that there is a breach of the dam, and this is included as planning obligation in the recommendation.

The planning application is accompanied by a Transport Assessment and Transportation Sustainability Assessment (May 2013) which indicates that the proposed development will not have a detrimental effect on the highway network and that the creation of vehicular access to the development will not result in any significant impacts on highway users. In relation to the construction or development phase the applicant has confirmed that there will be no export of materials such as for instance topsoil, clay or aggregate from the application. The Council’s Highways Section has recommended that they are content with the planning application subject to the planning conditions recommended which include requirements for a detailed Construction Environmental Plan (CEMP), Transport Management Plan and a Travel Plan in the operation of the development. In addition a pedestrian footpath link will be required from the entrance to the proposed development to the bus stops adjacent on the A5025.

One of the objections received states that there is poor visibility at the junction of the Class 3 road to the south of the application site with the A5025. This junction has been improved in recent years and the Class 3 road widened up to the proposed access to the application site. No objections are raised on this basis by the council’s Highways Section on the grounds contended in the objection.

Residential Amenity - There is a residential property located to the north west and elevated above the application site at "Gwlybycoed". The owner/occupier of this property has objected on the basis of the proximity and the position of the proposed development in front of their property. Objections have also been received from other residential properties in the vicinity; grounds of objection include the amenities of local residents, noise, opening hours, lighting and fact that the applicant indicates that special events will be held at the proposed development without explaining what these comprise of.

"Gwlybycoed" is located approximately 200 meters away to the north the application site. It is also elevated around 10 meters above the application site at its nearest point and the principal elevation faces the direction of the application site.

The applicants have indicated that they intend to complete the development within 3 years and as explained previously major earthworks are required to complete the development. A framework Construction Environmental Management Plan (CEMP) accompanies the planning application amongst other matters this deals with aspects of the construction which could affect residential amenity including working hours, delivery hours and compound locations. In addition conditions have been recommended requiring the phasing of these construction works such that each phase is completed including landscaping implemented prior to the commencement of the next phase. Given the distance from the proposed development, elevation above the proposed development and the mitigation proposed it is considered that the construction of the development will affect the residential amenities of "Gwlybycoed" or other residential properties in the vicinity.

Similarly given the low key recreational nature of the development being applied, the distance from and elevation above the resultant development it is not considered that that the residential visual amenities of "Gwlybycoed" will be unacceptably affected.

In relation to the general residential amenities of the area the applicant has confirmed that the proposed development will be open from 08.00 to 20.00 and a condition has been recommended to be attached on this basis. The applicant has clarified that special events will comprise fishing competitions, sailing and wind surfing festivals, and that they understand it will be subject to the restriction between the aforementioned hours. A planning condition has also been recommended removing permitted development rights for temporary uses. The Council's Environmental Services have also confirmed that there are separate legislative provisions to control noise, alcohol and entertainment.

A condition has also been recommended to control the impacts of any lighting proposed in connection with the proposed development.

Given the above considerations and the comments of the Council's Environmental Services it is not considered that the proposed development will unacceptably affect the residential amenities of "Gwlybycoed" or other residential properties in the vicinity.

The owner/occupier of "Gwlybycoed" has also objected in terms of the impacts of the proposed development on the electricity apparatus which cross the application site. The applicant will need to obtain separate consent from the statutory provider to re-route these apparatus if required in connection with the proposed development, and informative has been attached on this basis. The relevant statutory providers have also been consulted and no objections raised.

The owner/occupier of "Gwlybycoed" has also queried the applicant's will access their agricultural land surrounding their residential property if the current access is to be utilised in connection with the proposed development. The applicant has responded to this point and confirmed that the agricultural

land within the Llys Dulas Estate ownership referred to by the writer can be accessed from a number of different directions.

Ecology - NRW the Council's Ecological and Environmental Adviser have confirmed that there no issues in relation to protected sites and species.

The Council's Ecological and Environmental Adviser indicates that there will be a wildlife biodiversity gain as a result of the development.

The Council's Ecological and Environmental Adviser has considered the objection in respect of the loss of winter resting and feeding habitat for Curlew and Plover and given the area of 7.8ha to be retained for sheep grazing, the proposed islands and biodiversity gain it is not considered that there will be an adverse effect on these species.

Welsh Language - The planning application is supported by a Welsh Language Statement which has been assessed as acceptable by the Council's Welsh Language Impact Officer. The mitigation proposed in the Welsh language statement in relation to a bi-lingual business/place name, signage, leaflets and a website has been recommended as a planning obligation.

Public Rights of Way - There is a Public Right of Way (43 Llanelian) approximately 150 meters to the east of the application site. The Council's Public Rights of Way Officer has confirmed that the proposed development will not impair this public right of way.

Loss of Agricultural Land - In relation to the loss of agricultural land Welsh Government agriculture in their consultation response indicate that the application site will likely comprise moderate to poor quality agricultural land in classification. A consultant for the applicant has also confirmed that the application site comprises grade 3 agricultural land. It is also material that 7.8 hectares of the open areas proposed as part of the proposed development would be retained for agricultural purposes. It is therefore not considered that the proposed will result in the unacceptable loss of quality agricultural land.

Other Material Considerations - Gwynedd Archaeological Planning Service have indicated that on the basis of the studies undertaken to date which includes trial trenching that the application site appears to be of low archaeological potential. There are two areas of the application site where further investigation in form of recording of boundary and ditch features from the post medieval period is justified and a planning condition has been recommended on this basis.

One writer states that they expect that this will be the first phase of the developments with other planning applications to follow for camping, caravans, chalets and marquis as per the applicant's Chester Lakes development. The applicants have responded to this point and confirmed that no further developments are envisaged at this point in relation to this project. A condition has been recommended removing the applicant's permitted development rights in relation to camping and caravanning. Planning permission will therefore be required for the developments listed by the objector which will then need to be determined on their merits at the appropriate time.

7. Conclusion

Given the policy considerations described in the report it is considered that in principle the development is acceptable in this countryside location subject to the impacts of the scale of the development on the environment and other interests which are considered further in the report below.

The application site is within a Special Landscape "SLA" and the land to the south on the opposite

side of the road forms part of the "AONB". It is considered that the proposed development will affect the setting of the AONB in the short term but this can be mitigated with planning conditions. In time it is considered that the development will conserve and enhance the AONB in landscape and ecological terms. For similar reasons it is considered that the proposed development accords with planning policy provisions in relation to the "SLA".

It was explained in the report that there are a number of separate legislative provisions in relation to abstraction and safety and that a Panel Engineer will need to be appointed. In terms of overall risk this has been assessed as low.

The Council's Highway Authority are also content with the proposal on the basis that a Panel Engineer will need to be appointed and the planning conditions recommended which include requirements for a detailed Construction Environmental Plan (CEMP), Transport Management Plan and a Travel Plan in the operation of the development.

The impacts of the construction and operation of the development on the residential amenities of adjacent properties have been assessed and it is considered that subject to the planning conditions described that there will be unacceptable impact of the amenities of occupants of these dwellings.

To conclude the report explains that there are objections on the grounds of ecology, public rights of way, loss of agricultural land, archaeology or in terms of any future proposals not subject to the current proposals.

8. Recommendation

That planning permission is granted subject to the completion of a legal agreement containing the following obligations:

- No motorised or powered water craft to be used in the proposed development except for a safety purposes.
- Travel Plan / Transport Implementation Strategy including monitoring and remedial measures should targets not be attained to be submitted to and approved in writing by the local planning authority and thereafter adhered to in connection with the use hereby approved.
- Appropriate bond shall be put in place by the developer to fund any remedial works necessary to the repair the A5025 in the event that there is a breach of the dam. The value of the bond shall be calculated by the developer and approved in writing prior to the commencement of the development hereby approved.
- Has been calculated in monetary terms and approved in writing by the highway authority as sufficient to cover any repair works necessary to the A5025 in the event that there is breach of the dam's hereby approved.
- Development to have a bilingual business/place name and signage; a Welsh version of all leaflets and the website shall also be provided in the duration of the use hereby approved.

Thereafter that planning permission is granted subject to the following planning conditions:

(01) The development hereby permitted shall be begun before the expiration of (five) years from the date of this permission.

Reason: To comply with the requirements of Section 91(1) of the Town and Country Planning Act, 1990.

(02) The development hereby permitted shall be carried out strictly in accordance with the following approved plans :

| Drawing Title: | Drawing Number or Date Received | Revisions: |
|---|---------------------------------|------------|
| Ordnance Survey OS Landplan | 10.03.15 | |
| Existing Sections 3184_XS_EW_SHT1 | 1000/02 | |
| Existing Sections – 3184_XS_EW_SHT2 | 1000/03 | |
| Existing Sections – 3184_XS_NS_SHT1 | 1000/04 | |
| Existing Sections – 3184_XS_NS_SHT2 | 1000/05 | |
| Existing Site Plan | 1000/10 | |
| New Junction Layout & Visibility Splay | 12209/0001/a | |
| Landscape Phasing Plan | 16251 – PL – 206 | A |
| Higher Level Construction Management Plan | 16251 – PL - 207 | A |
| Landscape Mitigation Planting Plan | 11106 – PL - 204 | A |
| Landscape Masterplan | 16251 – PL - 208 | A |
| Landscape Mitigation Planting Plan | 11106 – PL - 205 | |
| Proposed Site Plan | 1000/101 | D |
| Proposed Sections – 3184_XS_EW_SHT1 | 1000/102 | A |
| Proposed Sections – 3184_XS_EW_SHT2 | 1000/103 | A |
| Proposed Sections – 3184_XS_NS_SHT1 | 1000/104 | A |
| Proposed Sections – 3184_XS_NS_SHT2 | 1000/105 | A |
| Proposed Section X-X | 1000/106 | A |

Reason: To ensure a satisfactory form of development.

(03) The development hereby approved shall be carried out in accord with the Landscape Phasing Plan (drawing number 16251 – PL – 206 revision A) (“the phasing plan”) hereby approved. The development hereby approved shall occur in a sequential manner strictly in accord with “the phasing plan” and for the avoidance of doubt; Phase 1 shall be completed and landscaped in accord with planning condition (04) before development commences on Phase 2, Phase 2 shall be completed and landscaped in accord with planning condition (04) before development commences on Phase 3.

Reason: In the interests of visual amenities of the locality also to ensure that the development conserves and enhances the Area of Outstanding Natural Beauty.

(04) The landscaping scheme as shown on the Landscape Mitigation Planting Plan(s) (drawing numbers 11106 – PL – 204 revision A and 11106 – PL - 205) shall be implemented not later than the first planting season following the completion of the phase (being Phase 1, Phase 2 or Phase 3) to which it relates as denoted in “the phasing plan”.

Reason: In the interests of visual amenities of the locality also to ensure that the development conserves and enhances the Area of Outstanding Natural Beauty.

(05) No material(s) excavated in the development hereby approved shall be removed or transported from the application site outlined in red on the location plan received 10.03.15.

Reason To define the scope of the planning permission hereby approved.

(06) No development shall commence until full construction specification drawings and calculations of the cut and fill volumes of earthworks proposed in connection with the development hereby approved, including the volume of material(s) to be imported as part of the earthworks has been submitted to and approved in writing by the Local Planning Authority. The details approved under this condition shall be implemented in full and adhered to.

Reason: For the avoidance of doubt and to ensure a satisfactory form of development.

(07) Notwithstanding the plans hereby approved no development shall commence until detailed construction level topographical drawings which include full details of the proposed slab levels of the building(s) hereby approved and ground modelling in relation to the existing and proposed levels and the surrounding land (including the A5025, Class 3 public highway) has been submitted to the Local Planning Authority for its written approval. The details approved under this condition shall be implemented in full and adhered to.

Reason: To ensure a satisfactory form of development.

(08) No development shall commence until evidence is submitted demonstrating that all necessary statutory consents required in connection with the development hereby approved have been permitted has been submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure a satisfactory form of development which accords with all relevant statutory requirements.

(09) No development shall commence until full details of all external materials, finishes and colours (which shall include such details for all building(s), internal roads, car parking area(s) and all other engineered structures and works associated with the development hereby approved has been submitted to and approved in writing by the Local Planning Authority. The details approved under this condition shall be implemented in full and adhered to.

Reason: In the interests of visual amenities of the locality also to ensure that the development conserves and enhances the Area of Outstanding Natural Beauty.

(10) No development shall take place until full details of the proposed means of enclosure (including walls and fencing around and within the application site have been submitted to and approved in writing by the Local Planning Authority. The means of enclosure approved under the provisions of this condition shall be erected prior to the occupation of the development hereby approved.

Reason: To ensure that the details and appearance of the development are acceptable to the Local Planning Authority.

(11) No development shall take place until full specifications of all external lighting required in connection with the development hereby approved have been submitted to and approved in writing by the Local Planning Authority. The details to be submitted under the provisions of this condition shall include detailed report(s) on any light spillage (lux levels) onto any surrounding land and properties, times of operation and measures to reduce energy consumption. The details approved under this condition shall be implemented in full and adhered to and there shall be no other lighting in connection with the development hereby approved.

Reason: To safeguard the amenities of the area and of occupants of neighbouring dwellings and to

conserve the Area of Outstanding Natural Beauty, dark skies and to ensure a sustainable form of development.

(12) No development shall commence until full construction specifications and drawings for the lakes hereby approved, and a report on the adequacy and safety thereof by the appointed Panel Engineer has been submitted to and approved in writing by the local planning authority. The details approved under this condition shall be implemented in full and adhered to.

Reason: To ensure that the development is undertaken in a safe manner and to ensure a satisfactory appearance of the development.

(13) Notwithstanding the Technical Note regarding Anglesey Lakes – Failure Risk Assessment – Tier 1 (06.01.2015) Envireau Water submitted with the planning application hereby approved a Tier 2 or detailed design stage assessment breach analysis, flood extent and hazard mapping report (this shall include flow paths and the impact on the A5025, Class 3 road including structural elements thereof such as culverts) by the appointed Panel Engineer shall be submitted to and approved in writing by the Local Planning Authority. The details approved under this condition shall be implemented in full and adhered to.

Reason: To ensure that the development is undertaken in a safe manner and to protect third party flooding.

(14) No development shall commence until full construction specifications and drawings, and a report by the appointed Panel Engineer on the adequacy and safety of all engineered structures and works associated with the development (including inlets, culverts, spillways, retaining walls, batters and embankments) taking into account the surrounding land (including the A5025, Class 3 public highway) has been submitted to and approved in writing by the Local Planning Authority. The details approved under this condition shall be implemented in full and adhered to.

Reason: To ensure that the development is undertaken in a safe manner and to ensure a satisfactory appearance of the development.

(15) No development shall take place within the site until the implementation of a programme of archaeological works has been secured in accordance with a written scheme of investigation submitted to and approved in writing by the Local Planning Authority.

Reason: To secure the provision of an archaeological excavation and recording of remains.

(16) No development shall commence until a comprehensive and integrated drainage scheme for the development hereby approved demonstrating how foul water, surface water and land drainage will be dealt with has been submitted to and approved in writing by the Local Planning Authority. The details approved under the provisions of this condition shall be completed prior to the occupation of the development hereby approved.

Reason: To ensure that effective drainage facilities are provided for the proposed development, and that no adverse impact occurs to the environment or adjacent properties.

(17) The scheme for parking, garaging and manoeuvring indicated on the submitted plans shall be laid out prior to the initial occupation of the development hereby permitted and that area shall not thereafter be used for any other purpose.

Reason: To enable vehicles to draw off, park and turn clear of the highway to minimise danger, obstruction and inconvenience to users of the adjoining highway.

(18) No development shall commence until a scheme detailing all cycle storage areas and facilities (which shall include cycle stands, cycle shelters and secure cycle hub/compounds) has been submitted to and approved in writing by the Local Planning Authority. The details approved under the provisions of this condition shall be completed prior to the occupation of the development hereby approved.

Reason To ensure that provision is made for safe and secure cycle storage is made to encourage users of the development to travel by cycle.

(19) The vehicular access shall be completed with a bitumen surface for the first 30 metres from the nearside edge of the highway.

Reason: To minimise danger and inconvenience to highway users.

(20) No surface water from the development hereby approved shall discharge onto the highway.

Reason: To minimise danger and inconvenience to highway users.

(21) No development shall commence until full construction specifications and drawings for the proposed footpath and crossing illustrated on the New Junction Layout and Visibility drawing number 12209/0001/a have been submitted to and approved in writing by the Local Planning Authority. The details approved under the provisions of this condition shall be completed prior to the occupation of the development hereby approved.

Reason To facilitate safe pedestrian access between the development and the bus stops on the A5025.

(22) Notwithstanding the means of vehicular access shown on the New Junction Layout and Visibility drawing number 12209/0001/a no development shall commence until full construction specifications and drawings of this vehicular access, which shall include full details of the surface water drainage arrangements has been submitted to and approved in writing by the Local Planning Authority prior to the commencement of the development hereby approved. The details approved under this condition shall be implemented in full to prior to the commencement of any other part of the development hereby approved and thereafter adhered to.

Reason: In order to minimise danger, obstruction and inconvenience to users of the highway and of the access.

(23) No development shall commence until a Waste Management Plan (“WMP”) detailing construction waste handling, storage and disposal has been submitted to and approved in writing by the Local Planning Authority. The WMP shall identify strategies for waste minimisation, recycling and pollution prevention during construction. The WMP shall be implemented and adhered to strictly in accordance with the details approved in writing by the Local Planning Authority under the provisions of this condition.

Reason: To safeguard the environment, local ecology and local amenity and to ensure the effective waste minimisation and management arrangements are implemented in the interests of sustainable development.

(24) Notwithstanding the “Llys Dulas Higher Level Construction Management Plan” (March 2016) Ryder Landscape Consultants Ltd submitted with the planning application hereby approved, no development shall commence until a Detailed Construction Environmental Management Plan (“DCEMP”) has been submitted to and approved in writing by the Local Planning Authority. The DCEMP shall include general environmental provisions relating to the construction of the development and, as a minimum, shall include detail of:

- the sustainability of the construction methods to be employed;
- working hours during the construction;
- provisions for safeguarding the residential amenity;
- parking arrangements associated with construction including loading/unloading requirements;
- location of storage areas;
- dirt and dust control measures and mitigation which shall include measures to prevent

- damage to retained vegetation;
 - noise, vibration and pollution control impacts and mitigation;
 - water quality and drainage impacts and mitigation;
 - bio-security relating to protected and other species;
- monitoring and compliance measures including corrective/preventative actions with targets in the DCEMP which shall accord where relevant with British Standards (BS);

The DCEMP shall be implemented and adhered to strictly in accordance with the details approved under the provisions of this condition for the duration of the construction period.

Reason: To safeguard against any impact the construction of the development may have on the environment, landscape, local ecology and local amenity.

(25) No development shall commence until a “Detailed Construction Traffic Environmental Management Plan” “DCTEMP” has been submitted to and approved in writing by the Local Planning Authority. The “DCTEMP” shall include general environmental provisions relating to the construction of the development and, as a minimum, shall include detail on :

- the means of transportation and locations for the storage of plant, equipment and materials associated with the construction of the development including the access to and egress from the site from / to the highway;
- specification of vehicular access point(s) and haulage route(s) and of any temporary signage to be provided to identify the route for construction traffic and measures to promote its safe use;
- identification of the routing strategy and procedures for the notification and conveyance of any indivisible “out of gauge” loads. This includes any necessary measures for the temporary protection of carriageway surfaces; for the protection of statutory undertakers’ plant and equipment; and for the temporary removal and subsequent replacement of street furniture;
- description of the arrangements to be made for on-site parking for personnel working on the site and for visitors; and
- proposals for communicating information relating to the DCTEMP to the Local Planning Authority in the duration of the construction of the development hereby approved.

The DCTEMP shall thereafter be implemented and adhered to strictly in accordance with the details approved under the provisions of this condition for the duration of the construction period of the development.

Reason: To minimise danger, obstruction and inconvenience to users of the highway for the duration of the construction Phase(s) of the development and to promote highway safety.

(26) No development shall commence until a Soil Management Plan (“SMP”) detailing the soil excavation, handling and storage shall be submitted to the Local Planning Authority for its written approval. The SMP should identify strategies for waste minimisation, pollution prevention and restoring areas disturbed during construction. The SMP shall thereafter be implemented and adhered to strictly in accordance with the details approved in writing by the Local Planning Authority under the provisions of this condition.

Reason: To safeguard the soil structure on the application site.

(27) The shop/café and storage building hereby permitted shall not be used for any other purpose other than ancillary to the recreation use hereby approved and for no other purpose.

Reason: For the avoidance of doubt as the Local Planning Authority would not otherwise permit these buildings.

(28) The provisions of Schedule 2, Part 4 (Temporary Buildings and Uses) Class B and Part 5 Class (Caravan Sites) A of the Town and Country Planning (General Permitted Development)

Order 1995 (as amended) (or any Order re-voking or re-enacting that Order) are hereby excluded.

Reason: In the interests of the amenities of the locality and to define the scope of this permission.

Informatives

The decision notice must be read in conjunction with the terms of the legal agreement of the (Insert Date). You are advised to satisfy yourself that you have all relevant documentation.

A separate consent from the Isle of Anglesey Council as the Highway Authority will be required for the approval of the vehicular access and the off-site footpath before any work is carried out to the public highway.

The development hereby approved will be subject to the Water Management Act 2010.

There are a number of licenses and permits required by NRW in relation to abstraction / impoundment, fish stocking and the control of discharges into watercourses / groundwater.

In accord with the Flood and Water Management Act 2010, any new structure constructed or any diversion to an existing watercourse required as a result of the development will require approval of the Isle of Anglesey Council under Section 23 of the Land Drainage Act 1991.

In addition the Head of Service be authorised to add to, remove or amend/vary any condition(s) before the issuing of the planning permission, providing that such changes do not affect the nature or go to the heart of the permission/ development. (Notably Highways)

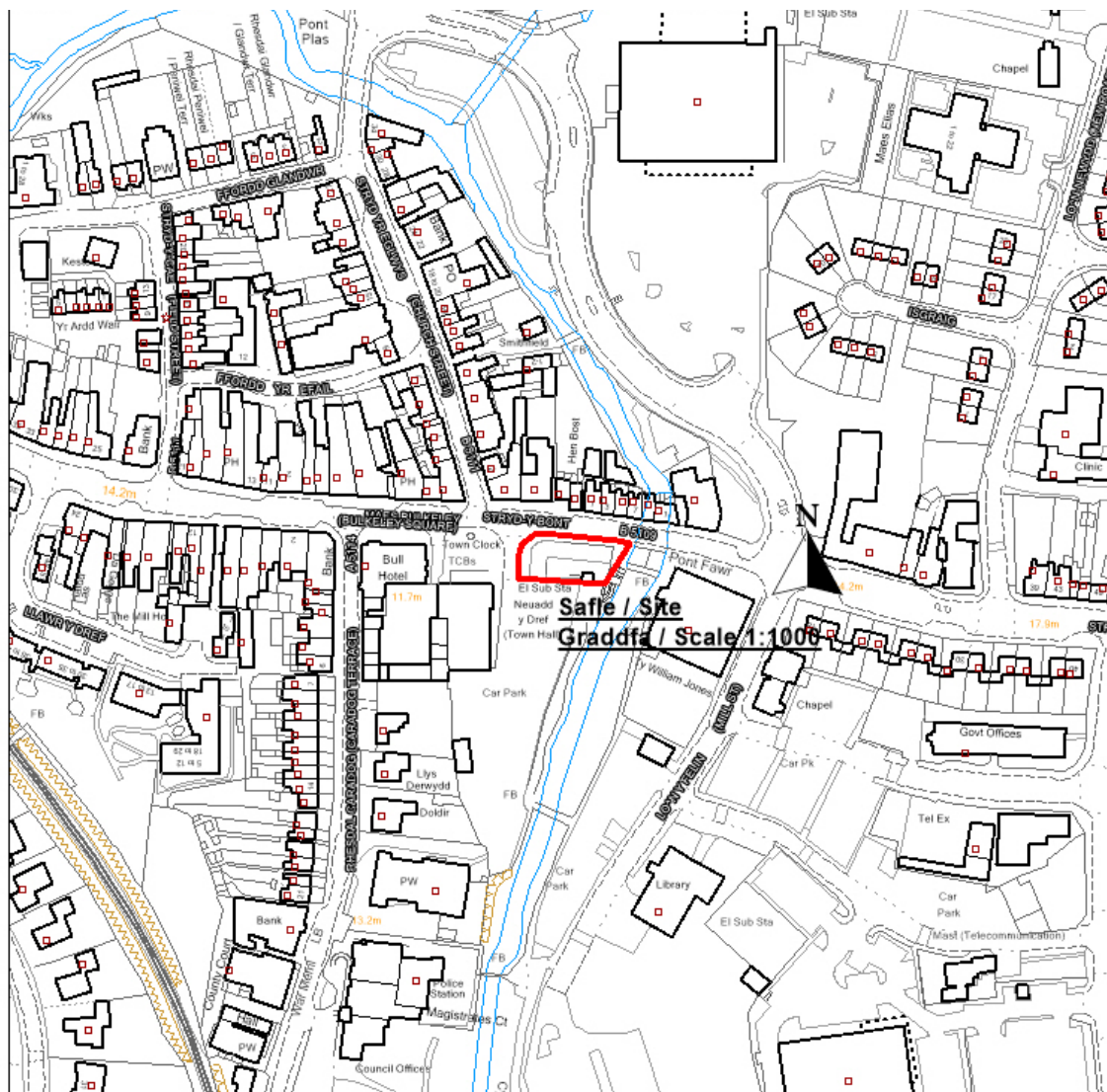
Rhif y Cais: **34C326D/VAR/ECON** Application Number

Ymgeisydd Applicant

Medrwn Môn

Cais o dan Adran 73 i ddiwygio amod (01) o caniatâd cynllunio rhif 34C326C/ECON (codi canolfan adnoddau) er mwyn rhoi 5 mlynedd pellach i gychwyn y gwaith yn / Application under Section 73 for the variation of condition (01) from planning permission reference 34C326C/ECON (erection of a resource centre) so as to allow a further 5 years to commence work at

Hen Safle Cross Keys / Former Cross Keys Site, Sgwar Bulkeley Square, Llangefni



Planning Committee: 06/07/2016

Report of Head of Regulation and Economic Development Service (GJ)

Recommendation:

Permit.

Reason for Reporting to Committee:

Part of the site is within Council ownership.

1. Proposal and Site

The site is centrally located in Llangefni between the Town Hall (Listed) and Iceland building. The site is within a conservation area.

2. Key Issue(s)

The key issue is whether the proposal complies with current policies, whether it has a negative impact on the conservation area and the effect on neighbouring properties.

3. Main Policies

Ynys Môn Local Plan

Policy 1 – General Policy

Policy 26 – Car Parking

Policy 28 – Flooding

Policy 42 – Design

Policy 40 – Conservation Area

Policy 41 – Conservation of buildings

Gwynedd Structure Plan

Policy D4 – Location, Siting and Design

Policy D25 – Conservation Area

Policy D28 – Roofing Materials

Policy D29 – Design

Policy D32 - Landscaping

Stopped Unitary Development Plan

Policy GP1 – Development Control Guidance

Policy GP2 – Design

Policy EN1 – Special Landscape Area

Policy EN13 – Conservation of Buildings

Policy TR10 - Parking

4. Response to Consultation and Publicity

Town Council – No response at the time of writing the report.

Local Member (Cllr Bob Parry) - No response at the time of writing the report.

Local Member (Nicola Roberts) - No response at the time of writing the report.

Local Member (Dylan Rees) - No response at the time of writing the report.

Drainage – Standard comments.

Welsh Water – No response at the time of writing the report.

Scottish Power - No response at the time of writing the report.

Environmental Health - No response at the time of writing the report.

The proposal was advertised through the posting of a notice on site together with the distribution of personal letters of notification to the occupiers of neighbouring properties. The application was also advertised in the local newspaper as the development is within the Conservation Area. The latest date for the receipt of representations was the 9th June, 2016. At the time of writing the report no letters had been received objecting to the proposal.

5. Relevant Planning History

34C326: Erection of an electrical substation on land adjacent to former Cross Keys Site, Llangefni.
Withdrawn – 05/04/95

34C326A: Conservation Area Consent for the erection of a new electrical sub-station on land adjacent to the former Cross Keys Site, Llangefni. Allowed – 08/06/95

34C326B: Erection of a resource centre on Old Cross keys Site, Bulkeley Square, Llangefni. Refused – 15/11/05

34C326C/ECON: Erection of a resource centre on Old Cross keys Site, Bulkeley Square, Llangefni.
Approved – 26/05/11

6. Main Planning Considerations

A previous application was approved 26/05/11 under reference 34C326C/ECON for the erection of a resource centre. The current application is for the variation of condition (01) from planning permission reference 34C326C/ECON to allow a further 5 years to commence work at the former Cross Keys Site, Llangefni.

Since the previous approval there has been no policy change, therefore allowing a further 5 years to commence work is acceptable.

It is considered that the proposal fall within the necessary policy framework and no objections have been raised in respect of highway/parking requirements.

7. Conclusion

The site is considered suited to the development. No policy change has taken place since the original approval and it is considered acceptable to extend the permission for a further 5 years.

8. Recommendation

To **permit** the development subject to conditions.

(01) The development to which this permission relates shall be begun not later than the expiration of five years beginning with the date of this permission.

Reason: To comply with the requirements of the Town and Country Planning Act 1990.

(02) The development hereby permitted shall be carried out in strict conformity with the details shown on the submitted plans and contained in the form of application and in any other documents accompanying such application unless otherwise agreed in writing by the Local Planning Authority.

Reason: To ensure that the development is implemented in accord with the approved details.

(03) The car parking accommodation shall be completed in full accordance with the details as submitted before the use hereby permitted is commenced and thereafter retained solely for those purposes.

Reason: To comply with the requirements of the Highway Authority in the interests of road safety.

(04) The vehicle loading and unloading area shall be completed in full accordance with the details as shown in green on the enclosed plan before the use hereby permitted is commenced and thereafter retained solely for those purposes.

Reason: To comply with the requirements of the Highway Authority in the interests of road safety.

(05) No surface water from within the curtilage of the site to discharge onto the County Highway. The drainage of the highway at the access along the frontage to be carried out to the requirements of the Highway Authority before any work on the remainder of the development is commenced.

Reason: To comply with the requirements of the Highway Authority in the interests of road safety.

(06) The access shall be completed with a bitumen surface for the first 5 metres from the nearside edge of the County Highway with the surface water drainage system completed and in working order before the dwelling is occupied.

Reason: To comply with the requirements of the Highway Authority in the interests of road safety.

(07) The proposed development site is crossed by a public sewer / rising main / disposal main with the approximate position being marked on the Statutory Public Sewer Record. Under the Water Industry Act 1991 Dwr Cymru Welsh Water has right of access to its apparatus as all times. No part of the building will be permitted within 3 meters of the line of the public sewer.

Reason: To protect the integrity of the public sewer and avoid damage thereto.

(08) No land drainage run-off will be permitted, either directly or in-directly, to discharge into the public sewerage system.

Reason: To prevent hydraulic overloading of the public sewerage system and pollution of the environment.

(09) No surface water shall be allowed to connect (either directly or indirectly) to the public

sewerage system.

Reason: To prevent hydraulic overloading of the public sewerage system, to protect the health and safety of existing residents and ensure no detriment to the environment.

(10) Finished Floor Levels should be set at a minimum of 9.81m AOD.

Reason: To minimum flood risk.

(11) Current best practice with regards to flood proof construction techniques must be incorporated into the design of the building.

Reason: To minimise the impact of any inundation event.

(12) Safe access and egress must be functional for the site during the inundation event.

Reason: To minimise risk to future users of the site.

(13) All additional mitigation measures recommended within the Flood Consequence Assessment should be incorporated into the development.

Reason: To minimum flood risk.

(14) Warning signs and evacuation route signage should be posted on site to inform future users of the potential flood risk

Reason: To minimum flood risk.

(15) No development approved by this permission shall be commenced until a scheme for the provision and implementation of surface water regulation system has been submitted to and approved in writing by the Local Planning Authority. Such scheme implemented prior to the construction of any impermeable surfaces unless otherwise agreed in writing by the local planning authority. Surface water generated from new impermeable surfaces must be limited to equivalent Greenfield rate for the site, the level of which to be agreed with the agency.

Reason: To prevent the increased risk of flooding on and off-site.

(16) The building hereby approved shall be used only as a resource centre as described in the information submitted, no other use or process shall take place unless otherwise agreed in writing with the Local Planning Authority.

Reason: To define the scope of this permission.

(17) The development permitted by this consent shall be carried out strictly in accordance with the plan(s) submitted under planning application reference 34C326D/VAR.

| | | |
|--|-------------------|--|
| Proposed Ground Floor and First Floor Plans | 1118:03:6 | |
| Proposed Second Floor and Roof Pla | 1118:03:7 | |
| Proposed Elevation A | 1118:03:8 | |
| Proposed Elevation C | 1118:03:10 | |

| | | |
|---------------------------------|-------------------|--|
| Proposed Elevation D | 1118:03:11 | |
| Proposed Elevation B | 1118:03:9 | |
| Proposed Front Elevation | 1118:08:4 | |
| Location Plan | 1118:03:1 | |
| Proposed Site Plan | 1118:03:D | |

In addition the Head of Service be authorised to add to, remove or amend/vary any condition(s) before the issuing of the planning permission, providing that such changes do not affect the nature or go to the heart of the permission/ development.

9. Other Relevant Policies

Technical Advice Note 12: Design

This page is intentionally left blank

11.1

Gweddill y Ceisiadau

Remainder Applications

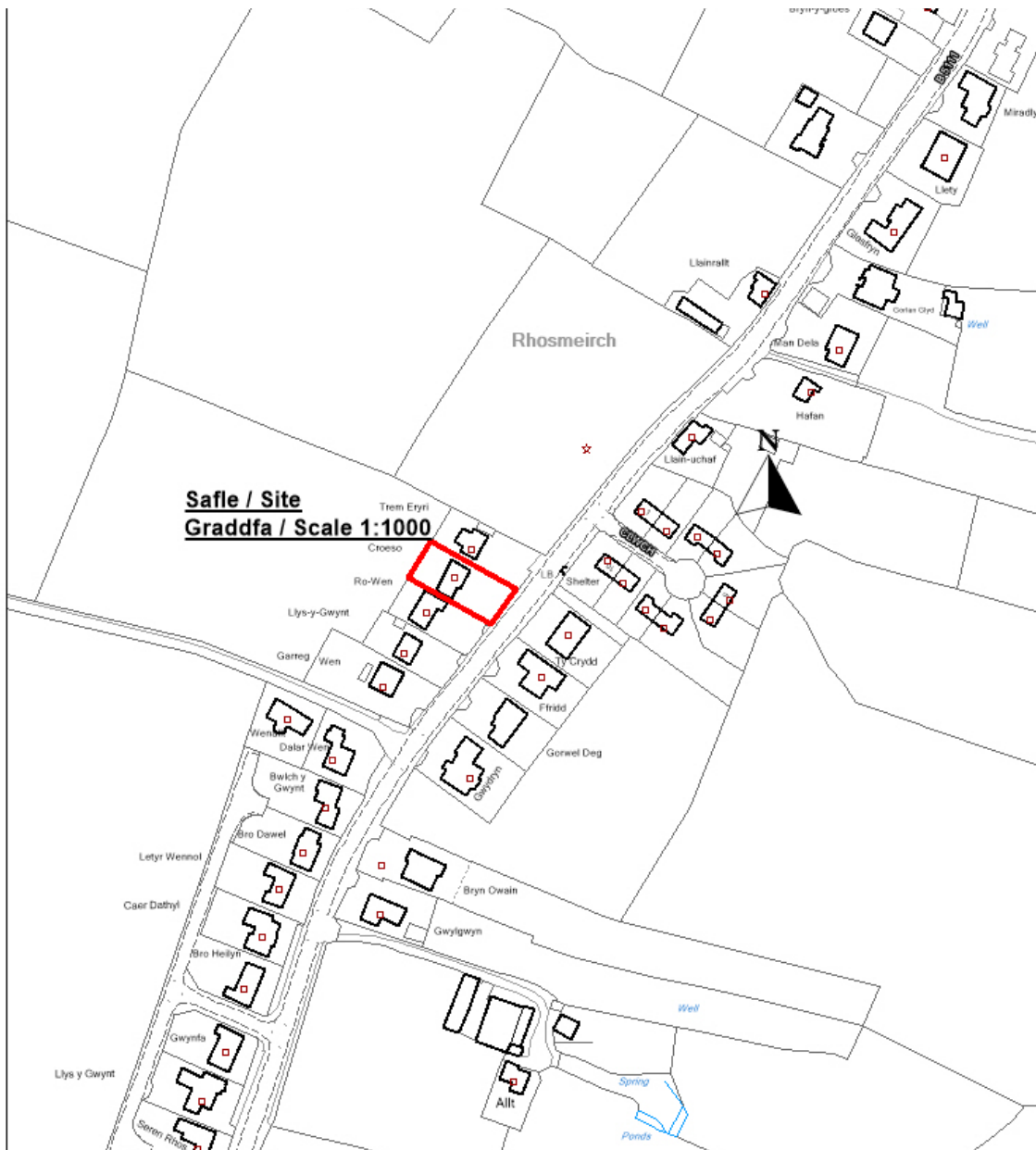
Rhif y Cais: **34C313A** Application Number

Ymgeisydd Applicant

Mr & Mrs Gwynne Jones

Cais llawn ar gyfer addasu ac ehangu yn / Full application for alterations and extensions at

Croeso, Rhosmeirch



Planning Committee: 06/07/2016

Report of Head of Planning Service (GJ)

Recommendation:

Permit.

Reason for Reporting to Committee:

The application is presented to the Planning Committee as the applicant is a relevant officer under paragraph 4.6.10.2 of the Constitution.

The application has been scrutinised by the Monitoring Officer as required under paragraph 4.6.10.3 of the Constitution.

1. Proposal and Site

The application is a full application for alterations and extensions at Croeso, Rhosmeirch.

2. Key Issue(s)

The key issue is whether the proposal complies with current policies, whether it fits in with the special landscape area and effect on neighbouring properties.

3. Main Policies

Ynys Môn Local Plan

Policy 1 – General Policy

Policy 31 – Landscape

Policy 42 – Design

Policy 58 – Extensions

Gwynedd Structure Plan

Policy D4 – Location, Siting and Design

Policy D29 - Design

Stopped Unitary Development Plan

Policy GP1 – Development Control Guidance

Policy GP2 – Design

Policy EN1 – Special Landscape Area

Policy HP7a - Alterations

4. Response to Consultation and Publicity

Town Council – No response at the time of writing the report

Local Member (Cllr Bob Parry) - No response at the time of writing the report.

Local Member (Nicola Roberts) - No response at the time of writing the report

Local Member (Dylan Rees) - No response at the time of writing the report

Drainage – Standard Comments

Welsh Water – Standard Comments

The proposal was advertised through the posting of a notice on site together with the distribution of personal letters of notification to the occupiers of neighbouring properties. The latest date for the receipt of representations was the 10th June, 2016. At the time of writing the report no letters had been received objecting to the proposal.

5. Relevant Planning History

34C313 - Extension to the rear of the dwelling at Croeso, Rhosmeirch – Approved 14/02/94

6. Main Planning Considerations

Siting, Design, External Appearance, Landscaping and Amenity Considerations

Policy 1 and 42 of the Ynys Môn Local Plan, D4 and D29 of the Gwynedd Structure Plan, 4.11 Promoting sustainability through good design, Technical Advice Note 12 (Wales): Design, SPG on The Design Guide for the Urban and Rural Environment, GP1 and GP2 of the Stopped Ynys Môn Unitary Development Plan are material in respect of siting, design, external appearance and the development is considered to accord with these policy provisions.

The proposal involves the erection of a two storey flat roof extension to the rear of the property. Policy 58 of the Ynys Môn Local Plan states that pitched roofs are preferred to flat roofs; however, the existing garage have a flat roof and both neighbouring dwellings has flat roof additions on their property. It is therefore considered that a flat roof extension would not be out of character within this locality.

Whilst the material of the proposed extension does not match that of the existing property, it will entail the erection of a modern extension creating a clear definition between old and new and providing an appropriate design solution within the context of the site.

Effect on the amenities of adjacent residential properties

The proposal involves the installation of an additional window in the side elevation of the main dwelling, a window is proposed in the first floor side elevation of the proposed extension, together with a glazed area on the ground floor side and rear elevation. In determining whether the proposal is acceptable Supplementary Planning Guidance on proximity of development has been taken into consideration. Whilst the proposal falls short of the distances stated in the guidance, the proposal does not cause harm and is considered acceptable for the following reasons:

The existing property already overlooks the neighbouring property as it has 2 French doors on the ground floor together with 2 large windows in the first floor. A patio area with tables and chairs is also located in the area where the extension will be located, which also leads to overlooking.

The insertion of new windows in the side elevation at first floor level will face pre-existing windows on the neighbouring property, however as these windows are landing and bathroom windows there will not be any increased levels of overlooking that would cause harm.

7. Conclusion

The site can comfortably accommodate the proposal without appearing cramped or over developing the site to the detriment of the character of the locality or the amenities of the neighbouring properties. Consideration has been given to current overlooking issues on the site at present and it is not considered that the proposal will exacerbate the situation.

8. Recommendation

To **permit** the development subject to conditions.

(01) The development to which this permission relates shall be begun not later than the expiration of five years beginning with the date of this permission.

Reason: To comply with the requirements of the Town and Country Planning Act 1990.

(02) The development permitted by this consent shall be carried out strictly in accordance with the plan(s) submitted under planning application reference 34C313A.

| | | |
|--------------------------------|------------|----------|
| Location & Block Plan Existing | 1286-A3-01 | 16/05/16 |
| Location & Block Plan Proposed | 1286-A3-02 | 16/05/16 |
| Existing Ground Floor Plan | 1286-A3-03 | 16/05/16 |
| Existing First Floor Plan | 1286-A3-04 | 16/05/16 |
| Existing Elevations | 1286-A3-05 | 16/05/16 |
| Proposed Ground Floor Plan | 1286-A3-06 | 16/05/16 |
| Proposed First Floor Plan | 1286-A3-07 | 16/05/16 |
| Proposed Elevations | 1286-A3-08 | 16/05/16 |
| Proposed Joist Layout Plan | 1286-A3-09 | 16/05/16 |
| Proposed 3D View 1 of 2 | 1286-A3-11 | 16/05/16 |
| Proposed 3D View 2 of 2 | 1286-A3-12 | 16/05/16 |

Reason: For the avoidance of doubt.

In addition the Head of Service be authorised to add to, remove or amend any condition(s) before the issuing of the planning permission, providing that such changes do not affect the nature or go to the heart of the permission/ development.

9. Other Relevant Policies

Technical Advice Note 12: Design

12.1

Gweddill y Ceisiadau

Remainder Applications

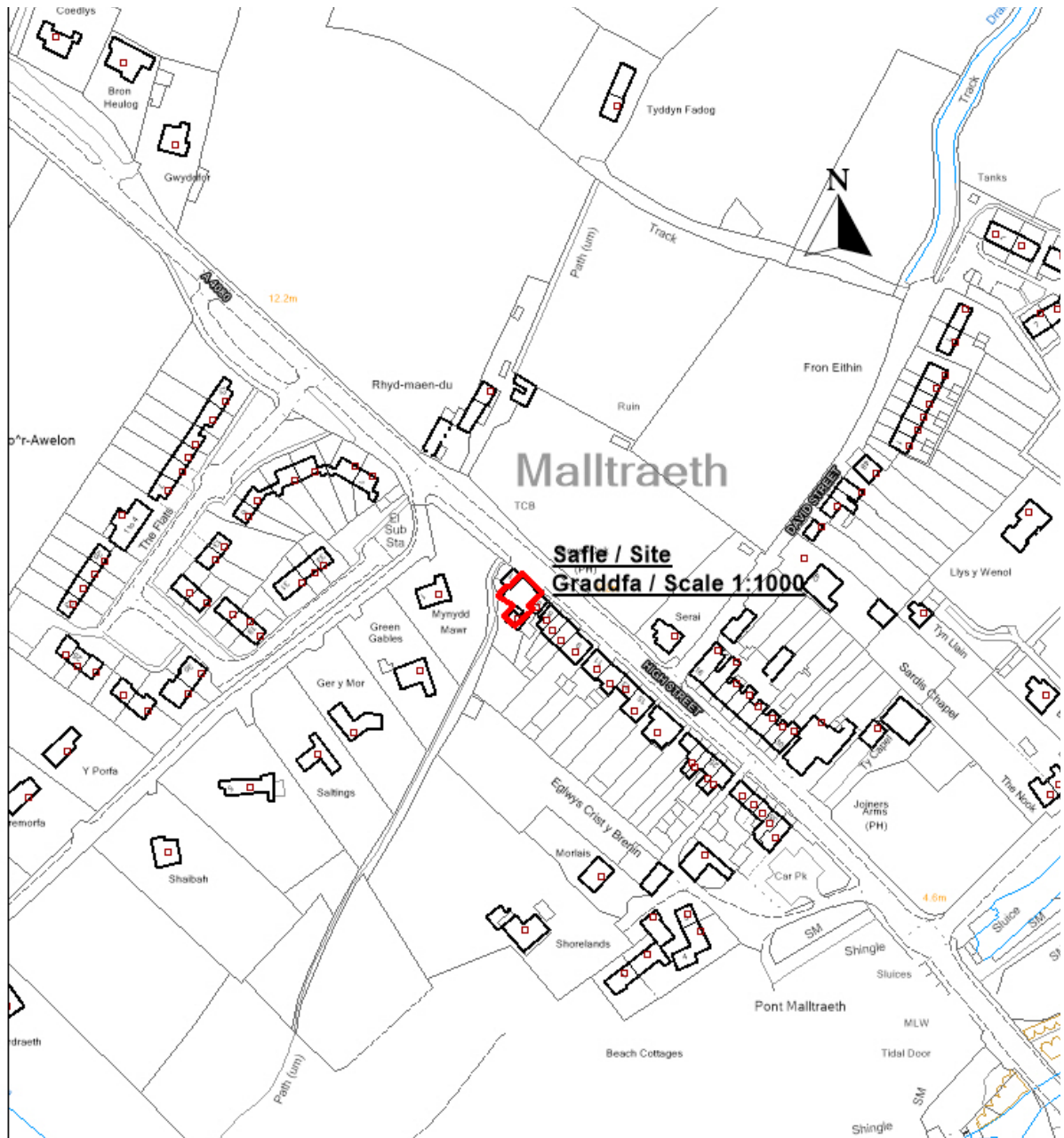
Rhif y Cais: 15C218 Application Number

Ymgeisydd Applicant

Mr Michael Ord

Cais llawn ar gyfer newid defnydd y ty tafarn i ddau uned preswyl yn / Full application for change of use of the public house into two residential units at

Royal Oak, Malltraeth



Planning Committee: 06/07/2016

Report of Head of Regulation and Economic Development Service (SCR)

Recommendation:

Permit

Reason for Reporting to Committee:

At the request of the Local Member.

1. Proposal and Site

The application is for the change of use of the former Royal Oak Public House into two residential units together with alterations and extensions.

The site fronts the High Street in the village of Malltraeth and is the end property of a terrace. The site lies within the designated Area of Outstanding Natural Beauty.

2. Key Issue(s)

The applications main issues are whether the proposal complies with current policies and whether the change of use of the building will have a detrimental impact on the amenities of surrounding properties or on the surrounding landscape.

3. Main Policies

Ynys Môn Local Plan

Policy 1 – General Policy

Policy 30 – Landscape

Policy 42 - Design

Policy 55 - Conversions

Gwynedd Structure Plan

Policy D4 – Location, siting and design

Policy D28 – Design

Policy D29 – Design

Stopped Unitary Development Plan

Policy GP1 – Development Control Guidance

Policy GP2 – Design

Policy HP8 – Rural Conversions

Policy EN2 – Area of Outstanding Natural Beauty

Planning Policy Wales, 8th Edition, 2016

Technical Advice Note 12: Design

Supplementary Planning Guidance – Design Guide for the Urban and Rural Environment.

4. Response to Consultation and Publicity

Community Council – No response to date

Local Member, Cllr A Griffith – Call-in due to local concern and concerns by the Community Council.

Highways – No objection.

The proposal was advertised through the posting of a notice on site together with the distribution of personal letters of notification to the occupiers of neighbouring properties. Following the receipt of amended plans the publicity process was repeated. The latest date for the receipt of representations was the 20th June, 2016 and at the time of writing this report a petition containing 199 signatures and two letters of objection has been received.

The main issue raised can be summarised as follows:

i) Public house is the local hub of village life and its re-opening would provide much needed facilities for the locals and holidaymakers.

In response to these comments I would state that the Royal Oak has ceased trading since September 2014. It is also relevant to note that The Royal Oak is not the only public house in the village and the Joiners Arms is still trading and is located a short distance away from the application site.

5. Relevant Planning History

None

6. Main Planning Considerations

Policy – Policy 55 of the Ynys Mon Local Plan and policy HP8 of the stopped Unitary Development Plan allow the conversion of buildings into residential or holiday units provided that the criteria of the policies are met. The site lies within the settlement of Malltraeth and its change of use from a public house into residential units is considered acceptable in this location.

Paragraph 10.3.9 of Planning Policy Wales states that the economic and social role of local shops, village shops and public houses should be taken into account when considering applications for a change of use of existing shops into dwellings or other uses.

In such circumstances, were the Royal Oak be the last public house in the settlement evidence would be required in support of the proposal to demonstrate that all options have been investigated to let or sell the public house, however as the village benefits from another public house, which is located close to the current application site the proposal does not trigger the need for supporting evidence.

Affect on neighbouring properties – The change of use of the former public house into two residential units will reduce the general disturbance by way noise / disturbance due to the loss of visitors to the building.

The extensions proposed to the rear of the building have been amended in order to reduce its impact on the occupants of the neighbouring property.

Whilst it is accepted that the local community consider that the loss of the Royal Oak Public House will be detrimental to residents and visitors to the area alternative provision at the Joiners Arms is within walking distance of the application site.

Affect on surrounding area - The application site is located within an Area of Outstanding Natural Beauty (AONB). It is a statutory designation that recognizes its importance in landscape quality and nature conservation terms.

The primary objective for an AONB designation is the conservation and enhancement of their natural beauty. Local authorities have a statutory duty to have regard to AONB purposes and development control decisions affecting AONB's should in the first instance favour conservation of natural beauty.

However, the building is located within the built confines of the village and the design of the proposed extension is considered acceptable and respects the character of the existing building and therefore the change of use of the building and alterations thereto will not have a detrimental impact on the surrounding landscape.

7. Conclusion

The change of use of the former public house into two residential units together with the alterations and extensions to the buildings is considered acceptable and complies with current local and national policies. The proposal will not have a detrimental impact on the amenities of the surrounding properties or surrounding Area of Outstanding Natural Beauty.

8. Recommendation

To **permit** the development subject to conditions.

(01) The development to which this permission relates shall be begun not later than the expiration of five years beginning with the date of this permission.

Reason: To comply with the requirements of the Town and Country Planning Act 1990.

(02) The development permitted by this consent shall be carried out strictly in accordance with the plan(s) and document(s) submitted below:

| Drawing / Document number | Date Received | Plan Description |
|---------------------------|---------------|----------------------|
| 2371:15:5a | 18/052016 | Existing Elevations |
| 2371:15:2a | 18/052016 | Existing Site Plan |
| 2371:15:4 | 13/04/2016 | Existing Floor Plans |
| 2371:15:7a | 18/052016 | Proposed Elevations |
| 2371:15:3a | 18/052016 | Proposed Site Plan |
| 2371:15:6b | 18/052016 | Proposed Floor Plans |
| 2371:15:8 | 13/04/2016 | Demolition Plan |

under planning application reference 15C218.

Reason: For the avoidance of doubt.

In addition the Head of Service be authorised to add to, remove or amend/vary any condition(s) before the issuing of the planning permission, providing that such changes do not affect the nature or go to the heart of the permission/ development.

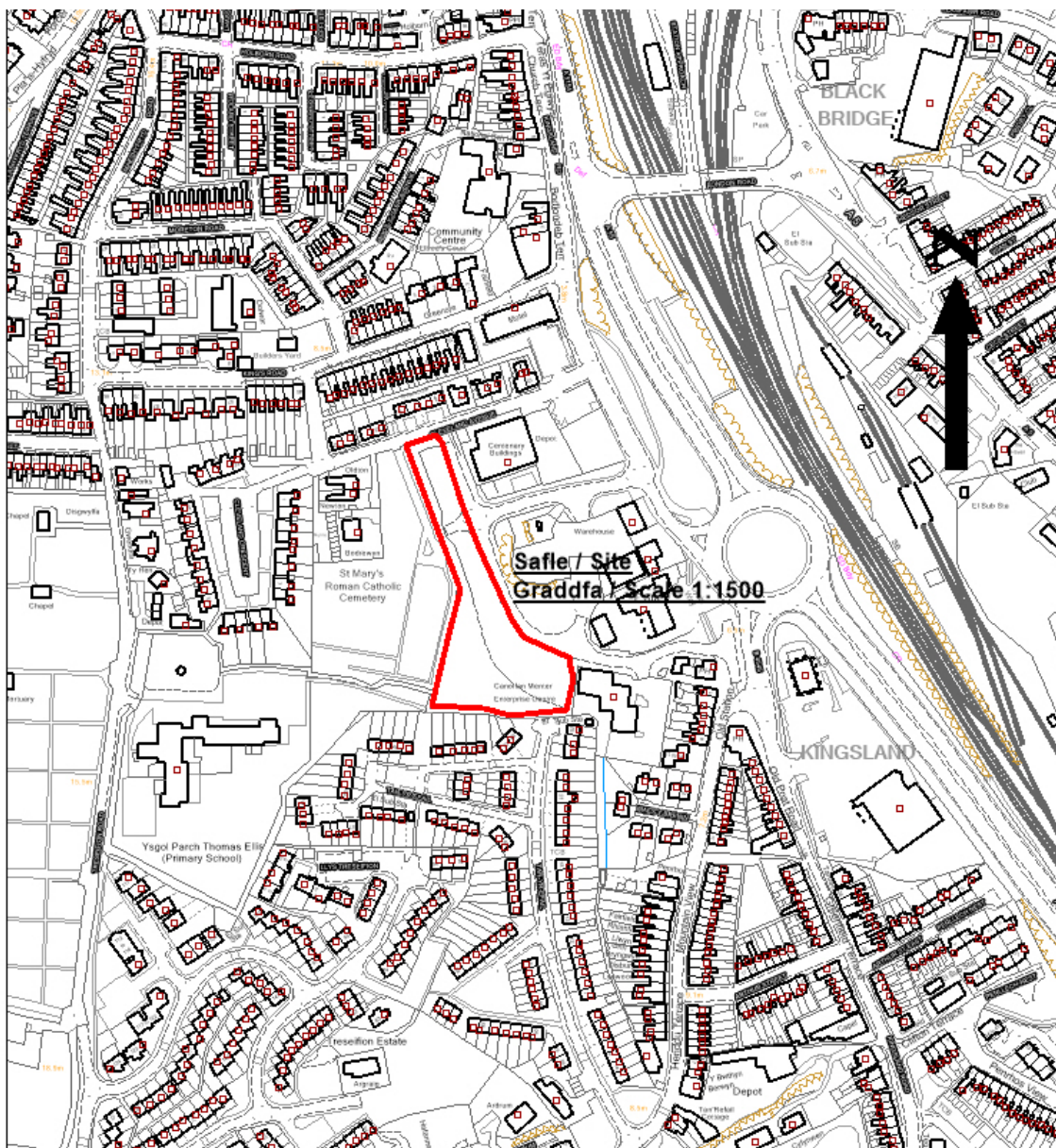
Rhif y Cais: 19C1174/FR Application Number

Ymgeisydd Applicant

Lockstock Self Storage Ltd

Cais llawn i newid defnydd tir i osod 103 cynhwysydd ar gyfer pwrpas storio yn / Full application for change of use of land to place 103 containers for storage purposes at

Enterprise Park, Caergybi/Holyhead



Planning Committee: 06/07/2016

Report of Head of Regulation and Economic Development Service (SCR)

Recommendation:

Permit.

Reason for Reporting to Committee:

The land that forms the application site is owned by the Local Authority.

1. Proposal and Site

The application is for the change of use of the land for the siting of 103 storage containers.

The site lies on land between Holyhead Fire Station, Veterinary Surgery and Builders Merchant and St Mary's Roman Catholic Cemetery.

2. Key Issue(s)

The applications main issues are whether the proposal is acceptable in this location and whether the proposal will have a detrimental impact on the amenities of the surrounding properties and landscape.

3. Main Policies

Ynys Môn Local Plan

Policy 1 – General Policy

Policy 42 – Design

Policy 48 – Housing Development Criteria

Policy 50 – Listed Settlement

Gwynedd Structure Plan

Policy D4 – Location, Siting and Design

Policy D29 – Design

Stopped Unitary Development Plan

Policy GP1 – Development Control Guidance

Policy GP2 – Design

Policy HP4 – Villages

Planning Policy Wales, 2016, 8th Edition

Supplementary Planning Guidance – Design Guide for the Urban and Rural Environment

Technical Advice Note 12 – Design

4. Response to Consultation and Publicity

Town Council – No objection

Local Member, Cllr T LI Hughes – Call-in due to traffic and location – however the call-in was received after the end of the consultation date

Local Member, Cllr J Evans – No response to date

Local Member, Cllr D Rh Thomas – No response to date

Highway Authority – Objected to the original scheme which included the erection of a gate which would restrict access to the Enterprise Centre. This has now been removed from the scheme and at the time of writing this report we are awaiting the formal response of the Highway Authority

Drainage Section – Drainage details acceptable

Welsh Water – Recommend conditional approval.

North Wales Police – No response to date

Natural Resource Wales – Recommend conditional approval

Environmental Health – No observations

The proposal was advertised through the posting of a notice on site, publication of a notice in the local press together with the distribution of personal letters of notification to the occupiers of neighbouring properties. Following the receipt of an amended scheme the publicity process was repeated. The latest date for the receipt of representations was the 6th April, 2016 and at the time of writing this report two letters of objection had been received at the department,

The main issue raised can be summarised as follows:

- i) Concern that the blocking of the highway with the proposed gate would affect access to the neighbouring building (Digartref)
- ii) Noise disturbance if the site is to be open 24 hours
- iii) Drainage issues by way of flooding
- iv) Concerns in regards to the type of materials that are to be stored in the containers
- v) Highway Safety

In response to these comments I would state:

- i) The scheme has been amended and access to the adjoining building will not be restricted
- ii) Due to the proximity of the site to the adjoining properties it is considered reasonable to include a condition to restrict the hours of operation at the site
- iii) The Drainage Section of the Authority, Welsh Water and Natural Resource Wales have been consulted and requested amendments and additional information in support of the application and have confirmed that the scheme as now considered is acceptable and will not have a detrimental impact on the drainage system

iv) The site operator will have to operate in accordance with current guidance in regards to storage of chemicals (if applicable) within the site.

v) As the scheme has been reduced the access track which runs along the rear of the fire station to the Enterprise Centre will not be obstructed.

5. Relevant Planning History

None

6. Main Planning Considerations

Policy – The site lies within the development boundary of Holyhead and is in close proximity of commercial businesses. The site has been allocated for employment purposes within the Ynys Mon Local Plan. The proposal will create employment opportunities and therefore complies with Policy 2 of the Ynys Mon Local Plan.

Policy EP3 of the stopped Unitary Development states that a Local Action Area is designated for Holyhead within which new development, redevelopment, rehabilitation and improvement which improves the town and port of Holyhead will be permitted.

TAN 15 – Development and Flood Risk

Part of the site lies within zone C2 as per the Development Advice Maps accompanying TAN 15: Development and Flood Risk. The aim of TAN 15 is to:

- Direct new development away from those areas which are at high risk of flooding
- Where development has to be considered in high risk areas (zone C) only those developments which can be justified on the basis of the tests outlined in Section 6 and 7 are located within such areas.

Paragraph 6.2 of TAN 15 states that new development should be directed away from areas which are within zone C and towards land in zone A, otherwise to zone B, where river or coastal flooding will be less of an issue...Development, including transport infrastructure, will only be justified if it can be demonstrated that:-

- i) its location in zone C is necessary to assist, or be part of, a local authority regeneration initiative or a local authority regeneration initiative or a local authority strategy required to sustain an existing settlement; or
- ii) its location in zone C is necessary to contribute to key employment objectives supported by the local authority, and other key partners, to sustain an existing settlement or region;

and

- iii) it concurs with the aims of PPW and meets the definition of previously developed land; and
- iv) the potential consequences of a flooding event for the particular type of development have been considered, and in terms of the criteria contained in sections 5 and 7 and appendix 1 found to be acceptable.

Following discussions with the applicant in regards to Flooding and effects of the development and the scale of the development the scheme has been reduced and the number of containers has been reduced from 163 to 103. Due to the reduction of the scale of the development only 12 of the

proposed containers lie partially within the Flood Zone. Natural Resource Wales have confirmed that the details submitted in support of the application confirm that the flood risk is acceptable in that the 'development proposal' is to be flood free and floor levels are above the 1%0.1% estimated flood levels and have recommended a conditional approval.

Effect on surrounding properties – The site borders the rear of the dwellings on Tan yr Efail residential estate. However the rear of the containers will at their shortest point be 6 metres away from the rear boundary of the adjoining properties. A Tree Survey has been submitted which states that some trees will have to be removed as part of the development however new trees will be planted in accordance with a scheme to be approved by the local planning authority and this will be conditioned. This will ensure that the site is screened and act as a visual barrier to the adjoining properties. Concern has been raised regarding the use of the site 24 hours a day and it is considered reasonable to include a permission to restrict the house of operation of the site.

Effect on surrounding area – As stated above a Tree Survey has been submitted and although some trees are to be removed as part of the development the new tree planting will ensure that the development will not have a detrimental impact on the surrounding area.

7. Conclusion

The proposal complies with current local and national policies and will not have a detrimental impact on the amenities of neighbouring properties or surrounding area.

8. Recommendation

To **permit** the development subject to conditions.

(01) The development to which this permission relates shall be begun not later than the expiration of five years beginning with the date of this permission.

Reason: To comply with the requirements of the Town and Country Planning Act 1990.

(02) The floor levels of the proposed containers shall be set no lower than 6.75m AOD. No raising of ground levels/infilling beneath containers cantilevered.

Reason: To safeguard flood risk on and off-site

(03) The proposed development site is crossed by public sewers with the approximate positions being marked on the attached Statutory Public Sewer Record. The position shall be accurately located and marked out on site before works commenced and no building or structure shall be carried out within the following easements:

900mm surface water sewer – 8 metres either side of the centre line of the public sewer

600mm surface water sewer – 5 meters either side of the centre line of the public sewer

229mm combined sewer – 3 metres either side of the centre line of the public sewer

Reason: To protect the integrity of the public sewer and avoid damage thereto protect the health and safety of existing residents and ensure no pollution of or detriment to the environment

(04) No surface water and / or land drainage shall be allowed to connect either directly or indirectly to the public sewerage network.

Reason: To prevent hydraulic overloading of the public sewerage system, to protect the health and safety of existing residents and ensure no detriment to the environment.

(05) The removal of the vegetation shall not take place between the 1st March and 30th August in any year unless the site has been checked for the presence of nesting birds by a suitably qualified ecologist and certified as being free of nesting birds. Should nesting birds be found to be present, no development shall take place until the chicks have fledged.

Reason: To safeguard any nesting birds which may be present on the site.

(06) The use shall not be carried out outside the hours of 7.00am and 8.00 pm Monday to Sunday.

Reason: In the interest of residential amenity

(07) All tree works shall be carried out in accordance with the details contained within the Tree Management Survey that was carried out by Richards Moorhead and Laing Ltd and submitted under planning reference 19C1174/FR.

Reason: In the interest of amenity

(08) A scheme of new planting within Zone B (as identified by the Tree Management Survey) shall be submitted to and agreed in writing by the local planning authority. The approved planting scheme shall be implemented in the first season following the construction of the gabion walls.

Reason: In the interest of amenity

(09) The development permitted by this consent shall be carried out strictly in accordance with the plan(s) and document(s) submitted below:

| Drawing / Document number | Date Received | Plan Description |
|---|----------------------|---|
| Location Plan | 07/03/2016 | Location Plan |
| Site Plan | 09/05/2016 | Proposed site levles |
| Proposed Site Plan | 01/03/2016 | Proposed Site Plan |
| E0783.PTR.RI | 12/04/2016 | Porosity Tests |
| Flood Consequence Assessment | 30/03/2016 | Flood Consequence Assessment |
| Preliminary Ecological Appraisal | 12/02/2016 | Preliminary Ecological Appraisal |
| Tamlite Technical Department | 07/01/2016 | Lighting Details |
| Tamlite Technical Department | 07/01/2016 | Lighting Details |
| Photographs | 10/11/2015 | Lighting Details |
| Photographs | 10/11/2015 | Access Details |
| Product Datasheet | 10/11/2015 | Lighting Details |
| Container Details | 10/11/2015 | Container Details |
| Design and Access Statement | 10/11/2015 | Design and Access Statement |
| Fence Details | 10/11/2015 | Fence Details |
| Tree Management Survey | 27/06/2016 | Tree Management Survey |

under planning application reference 19C1174/FR.

Reason: For the avoidance of doubt.

In addition the Head of Service be authorised to add to, remove or amend/vary any condition(s) before the issuing of the planning permission, providing that such changes do not affect the nature or go to the heart of the permission/ development.

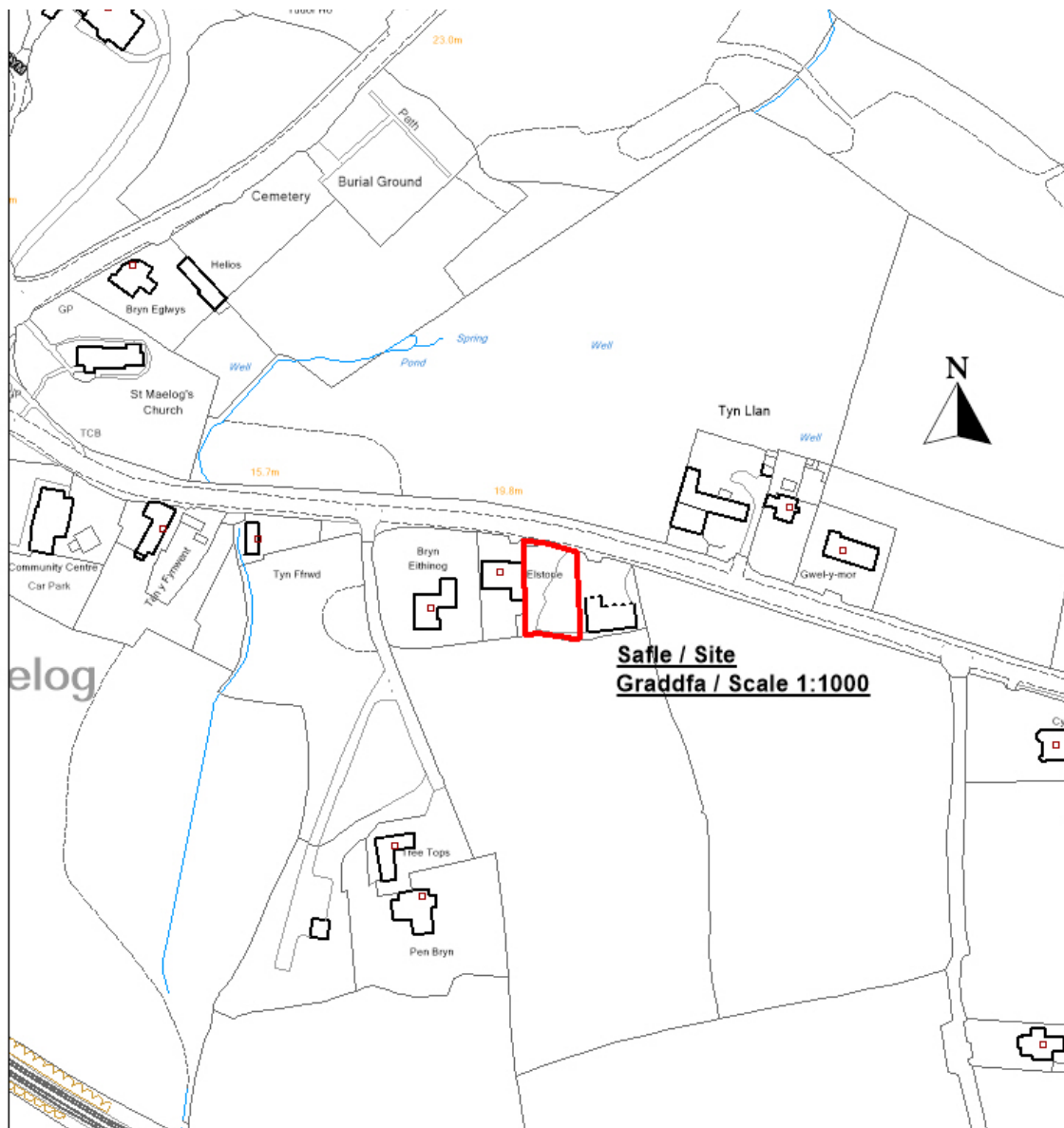
Rhif y Cais: **28C257A** Application Number

Ymgeisydd Applicant

Ms Menna Ball & Mr Ian Ball

Cais amlinellol ar gyfer codi annedd yn cynnwys manylion llawn am yr fynedfa i gerbydau ar dir ger / Outline application for the erection of a dwelling together with full details of the vehicular access on land adjacent to

Bryn Maelog, Llanfaelog



Planning Committee: 06/07/2016

Report of Head of Regulation and Economic Development Service (NJ)

Recommendation:

Refuse.

Reason for Reporting to Committee:

Councillor Richard Dew has called in the application for Committee determination.

1. Proposal and Site

The application made is an outline application for the erection of a dwelling with all matters reserved apart from access.

The application site is currently occupied as a builder's yard and has an existing road access and some buildings and hardstandings. The site is located outside the village of Llanfaelog on the minor road leading to Bryn Du. Two bungalows adjoin the site and the proposed plot adjoins these. The existing block-built building and yard in front also in the ownership of the applicants does not form part of the application.

2. Key Issue(s)

Compliance with Policy 50 of the Ynys Mon Local Plan.

3. Main Policies

Gwynedd Structure Plan

Policy D4: Location, Siting and Design

Policy D29: Standard of Design

Ynys Môn Local Plan

Policy 1: General Policy

Policy 32: Landscape

Policy 48: Housing Development Criteria

Policy 50: Listed Settlements

Stopped Unitary Development Plan

Policy GP2: Design

Policy HP2: Housing Density

Policy HP4: Villages

SPG: Design Guide

Planning Policy Wales Edition 8

TAN 12: Design

4. Response to Consultation and Publicity

Councillor Richard Dew – requests that the application be determined by the Committee as the site is suitable for development as it is a brownfield site and governed by Policy 50.

Councillor Gwilym Jones – no response

Community Council - no observations

Drainage Section – greater details of surface water disposal required

Highways - conditions suggested

Welsh Water - standard conditions

Public response: No representations have been received as a result of the publicity undertaken.

5. Relevant Planning History

28C257: Demolition of the existing building together with the erection of a dwelling and alterations to the existing access at the workshop near Ty'n Llan, Llanfaelog – Refused 21/07/98

6. Main Planning Considerations

Principle of the Development: Llanfaelog is a Listed Settlement under Policy 50 of the Ynys Môn Local Plan. It is a village with a defined development boundary under the Stopped Unitary Development Plan.

The builder's yard is located outside the defined village boundary under the Stopped UDP. Although a handful of dwellings cluster around the staggered crossroads near St Maelog's Church, there is a distinct gap before reaching the bungalows which the builder's yard adjoins. It is not considered that the site forms an infill site or a reasonable minor extension to the existing developed part of the settlement. The development of a dwelling here would lead to pressure to develop the remaining part of the site to the east of the plot as well as to infill development back towards St Maelog's Church to the west.

Previously Developed Land: Paragraph 4.9 of Planning Policy Wales advances a preference for previously developed land and goes on to state:

"4.9.1 Previously developed (or brownfield) land (see Figure 4.4) should, wherever possible, be used in preference to greenfield sites, particularly those of high agricultural or ecological value. The Welsh Government recognises that not all previously developed land is suitable for development. This may be, for example, because of its location, the presence of protected species or valuable habitats or industrial heritage, or because it is highly contaminated. For sites like these it may be appropriate to secure remediation for nature conservation, amenity value or to reduce risks to human health.

4.9.2 Many previously developed sites in built-up areas may be considered suitable for development because their re-use will promote sustainability objectives. This includes sites:

* in and around existing settlements where there is vacant or under-used land, commercial property or housing".

The site is currently in active use as a builder's yard. Although the principle of re-use is acceptable to support sustainability principles, planning policy recognises that not all previously developed sites are suitable for development. The application site is considered unsuitable for housing because of its

physical remoteness from the village and because its development would lead to pressure for the remaining part of the site to be similarly developed as well as intervening land between the site and the village. Cumulatively, such development would erode the rural character of the area.

Technical Matters: The Highway Authority and Dŵr Cymru-Welsh Water suggest conditions. The Drainage Section has requested additional details in relation to the disposal of surface water. The site is a builder's yard with hardstandings. It is considered that this matter could be adequately addressed at the Building Regulations stage given the nature of the site.

Amenity Impacts: The site is adjoined to the west by an existing dwelling. Subject to suitable design and the placement of windows it is not considered that the development of the site as proposed would lead to unacceptable overlooking or loss of privacy. The removal of a commercial use may give rise to a general improvement in amenity.

7. Conclusion

The principle of residential development is unacceptable as the development conflicts with Policy 50 of the Ynys Môn Local Plan. The development of the site would lead to pressure for additional housing development in the vicinity. The brownfield nature of the site is not sufficient of itself to overcome the policy objection.

8. Recommendation

To **refuse** the scheme for the following reason:

(01) The site is located outside the village of Llanfaelog and its development would be contrary to Policy 50 of the Ynys Môn Local Plan and Policy HP4 of the Stopped Unitary Development Plan. The development of the site would lead to pressure for other development of the applicant's land and nearby land which cumulatively would erode the rural character of the area.

In addition the Head of Service be authorised to add to, remove or amend/vary any condition(s) before the issuing of the planning permission, providing that such changes do not affect the nature or go to the heart of the permission/ development.

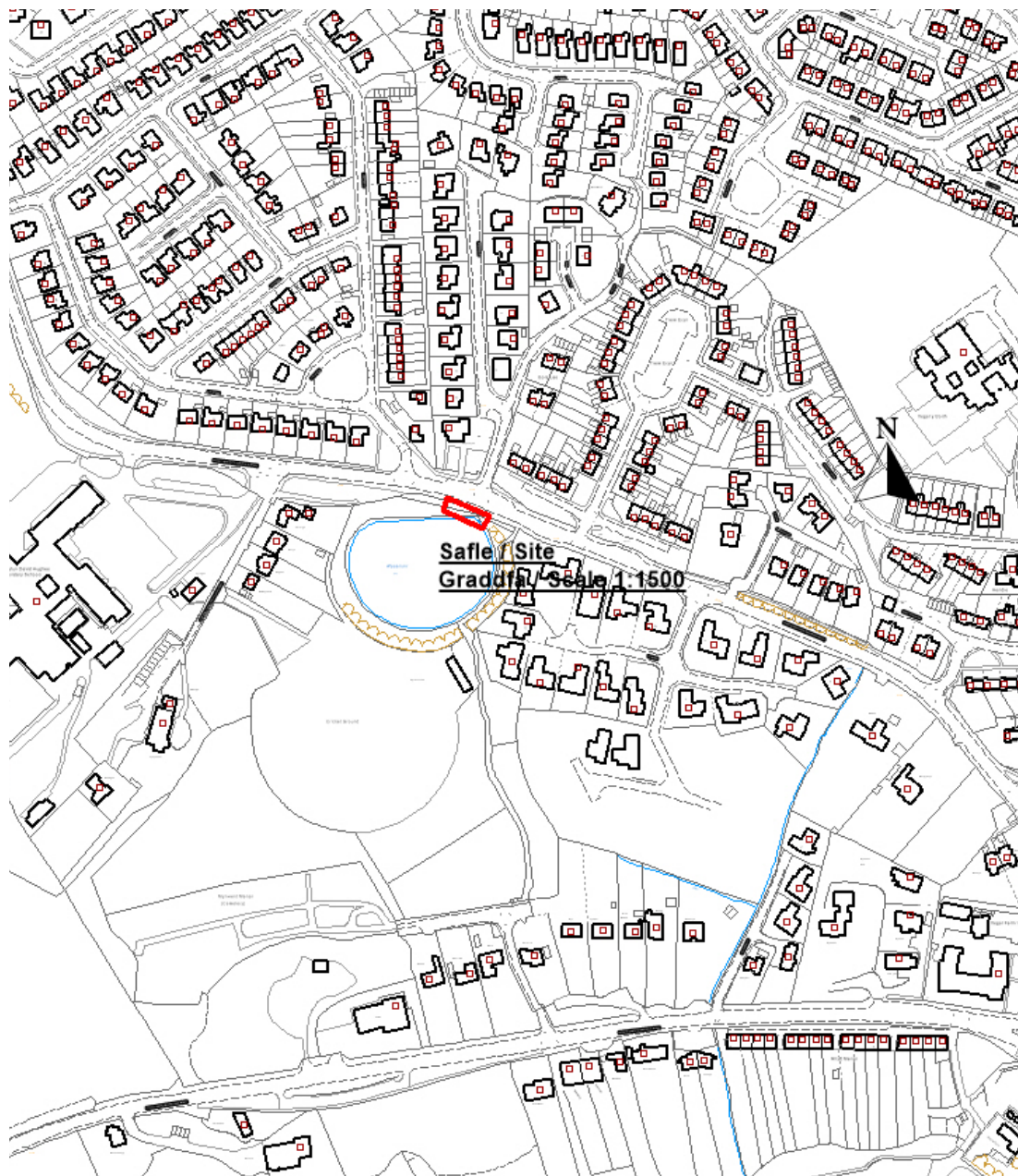
Rhif y Cais: 39LPA1026/TPO/CC Application Number

Ymgeisydd Applicant

Head of Service Highways, Waste and Property

Cais am waith i goed sydd wedi eu diogelu gan Orchymyn Diogelu Coed yn / Application for works to fell trees which are protected by a Tree Preservation Order at

Old Reservoir, Ffordd Pentraeth Road, Porthaethwy/Menai Bridge



Planning Committee: 06/07/2016

Report of Head of Planning Service (GJ)

Recommendation:

Permit.

Reason for Reporting to Committee:

The application is on Council owned land.

1. Proposal and Site

The application is to remove and crown lift trees which are protected by a Tree Preservation Order at The Old Reservoir, Menai Bridge.

2. Key Issue(s)

The key issue is to assess the amenity value of the trees and the likely impact of the proposal on the amenity of the area.

3. Main Policies

Ynys Môn Local Plan

Policy 1 – General Policy

Policy 31 – Landscape

Gwynedd Structure Plan

Policy D4 – Location, siting and design

Stopped Unitary Development Plan

Policy GP1 – Development Control Guidance

Policy EN1 – Landscape Character

Policy EN14 – Tree Preservation Orders and Hedgerows

4. Response to Consultation and Publicity

Local Member (Cllr Alun Mummery) – No response at the time of writing the report.

Local Member (Cllr Meirion Jones) – No response at the time of writing the report.

Local Member (Cllr Jim Evans) – No response at the time of writing the report.

Community Council – No objection

Highways Department – No response at the time of writing the report.

The application was afforded by two means of publicity. These were by the posting of a site notice near the site and neighbouring properties were also notified of the application. A notice was also placed in the local newspaper. The expiry date to receive representations was the 09/06/2016; at the

time of writing the report no letters were received.

5. Relevant Planning History

None

6. Main Planning Considerations

The trees are within TPO 117 of Tree Preservation Order titled, Old Reservoir, Menai Bridge.

Works are proposed to three groups G2 – G4 and Tree S1 as shown in the location plan. These are detailed in the application form, arboricultural survey and additional details (List of Remedial Works Menai Bridge Reservoir/Site Plan):

Photo 7 shows proposed work to S1: Crown lift over shed and dead wood

Photos 8-11 indicate the proposed works to G2: the removal of a number of limbs.

Photos 1-6 indicate proposed works to G3 and G4. The works involve the removal of small self-seeded trees growing near the base of the wall and overhanging limbs from larger trees.

In determining TPO applications there is a requirement to:

1. To assess the amenity value of the tree or woodland and the likely impact of the proposal on the amenity of the area, and
2. In the light of the assessment above, to consider whether or not the proposal is justified, having regard to the reasons put forward in support of it.

The application was supported by an Arboricultural report by Fairley Arboriculture and Landscape Planning which identified that the identified trees were required to be removed/crown lift for health and safety of the adjoining highway/public footpath and nearby residential properties.

7. Conclusion

In assessing the above factors it is concluded that the proposed works would have a negligible effect on the appearance of the TPO from public views and are reasonable to address issues of overhanging trees.

8. Recommendation

To **permit** the development subject to conditions.

(01) Works are done to British Standard 3998:2010 Tree Work Recommendations

In addition the Head of Service be authorised to add to, remove or amend/vary any condition(s) before the issuing of the planning permission, providing that such changes do not affect the nature or go to the heart of the permission/ development.

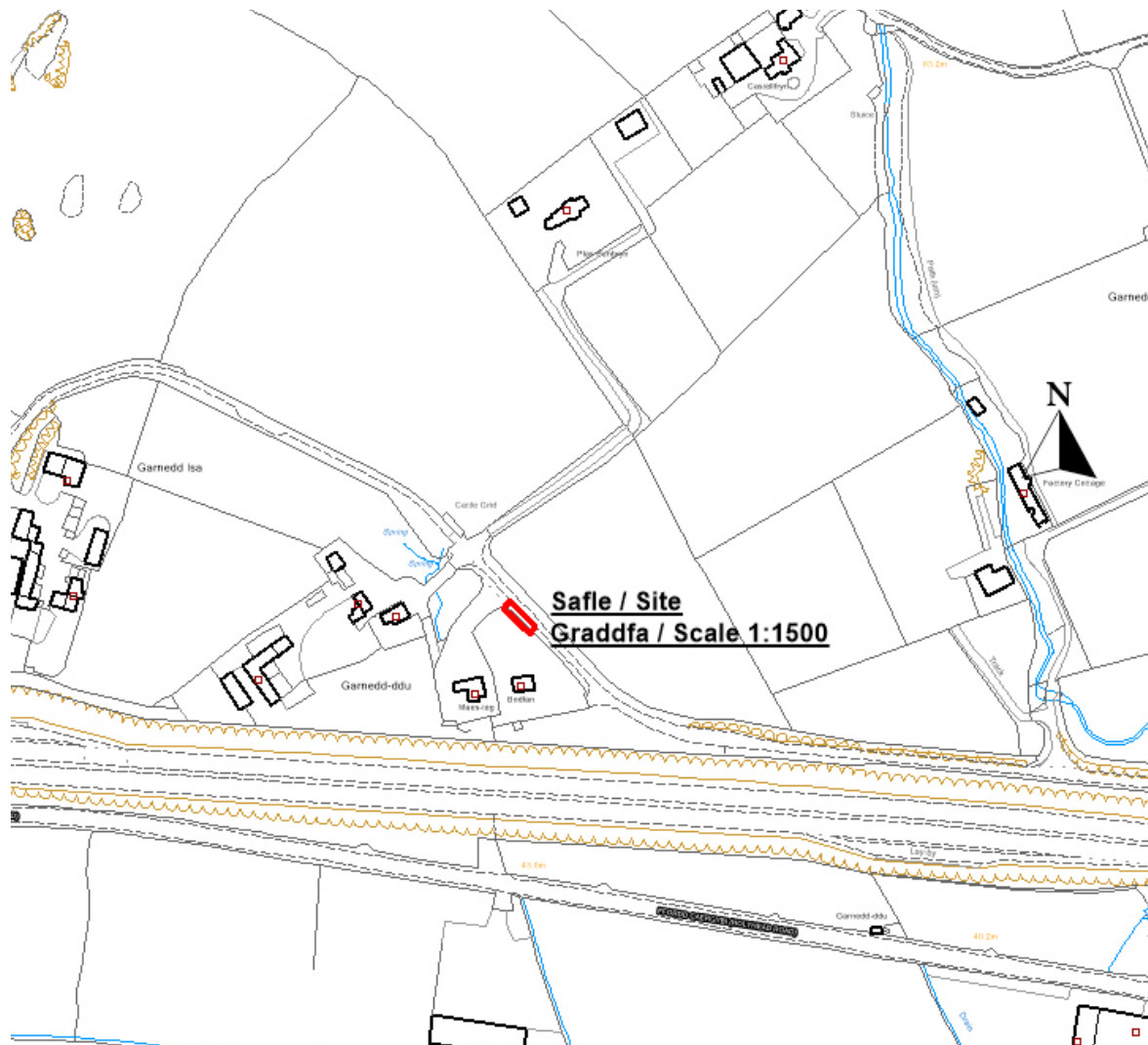
Rhif y Cais: 41C8G/DEL Application Number

Ymgeisydd Applicant

Mr & Mrs John Owen

Cais o dan Adran 73 i dynnu amod (10) (manylion am lecyn pasio) o ganiatâd cynllunio rhif 41C8C (cais llawn ar gyfer newid defnydd y tir er mwyn lleoli 33 o garafannau symudol) a chreu mynediad un ffordd yn ei le yn / Application under Section 73 for the removal of condition (10) (details of a passing bay) from planning permission reference 41C8C (full application for the change of use of land for the siting of 33 touring caravans) and the creation of a one-way access system in lieu at

Garnedd Ddu, Star



Planning Committee: 06/07/2016

Report of Head of Regulation and Economic Development Service (NJ)

Recommendation:

Permit

Reason for Reporting to Committee:

The application is made for the deletion of condition 10 of planning permission 41C8C (full application for the change of use of land for the siting of 33 touring caravans). Condition 10 requires the creation of a passing bay on the approach road to the site. In lieu of providing a passing bay, a one way access system at the site entrance is proposed with a new access onto the public highway.

The condition requiring the creation of a passing bay was imposed by the Planning and Orders Committee.

1. Proposal and Site

The site is currently run as a complex of 6 holiday units. Planning permission has been granted to create a 33 unit touring caravan site to the north of the buildings on a field enclosure rising up from the existing yard and parking area.

Following a site visit made prior to determination of the application for the creation of a caravan park, the Planning and Orders Committee considered that a condition requiring the creation of a passing bay was required to deal with traffic arising from the proposed development and that condition was duly imposed.

The application as now made seeks to delete that condition and further to discussions and suggestions made between the Highway Authority and the applicant, a proposal to create a one-way access / egress system is proposed. The siting of some of the caravans and toilet block is adjusted as a consequence.

2. Key Issue(s)

Effect on highway safety and local amenities.

3. Main Policies

Gwynedd Structure Plan

Policy CH1 Tourism

Policy CH5 Touring caravan sites

Policy D4 Environment

Ynys Mon Local Plan

Policy 12 New Touring Sites

Policy 13 Touring Sites

Policy 31 Landscape

Ynys Mon Unitary Development Plan (Stopped Dec 2005)

Policy TO6 Touring Caravans

Policy EN1 Landscape Character

Planning Policy Wales (Edition 5)

TAN 13 Tourism

TAN 18 - Transport

4. Response to Consultation and Publicity

Local Members : No response at the time of writing

Community Council: No response at the time of writing

Highways Section: The Authority would be willing to accept removing the condition mentioned above if the applicant agreed to implement the one-way system proposed and submitted with his letter dated the 11th December, 2013 under application reference 41C8C.

Amended plan received and comments awaited.

Public response to Neighbour Notification: 3 letters of objection together with a 15 name petition objecting to the application have been received.

Objections are based on:

The condition was considered an integral and necessary part of the planning approval to facilitate road safety and to avoid the obstruction of residents' entrances by passing traffic on a single track road. There is concern that existing accesses will be in constant use and frequently blocked, causing serious delays to access by emergency services. Removal of the condition should render the whole permission null and void.

5. Relevant Planning History

41C8: Conversion of existing building into a museum at Garnedd Ddu, Star – approved 5/9/84

41C8A: Conversion of agricultural outbuildings into 6 holiday lettings together with the installation of two septic tanks at Garnedd Ddu, Star – approved 6/1/89

41C8B: Change of use of land for the siting of 33 no. touring caravans, the erection of a toilet block together with the construction of a vehicular access at Garnedd Ddu, Star – withdrawn 5/4/13

41C8C: Full application for the change of use of land for the siting of 33 touring caravans, erection of a toilet block, construction of a vehicular access together with landscaping at Garnedd Ddu, Star - approved 18/9/13

41C8D/SCR: Screening opinion for the change of use of land for the siting of 33 no. touring caravans, the erection of a toilet block ,construction of a vehicular access together with landscaping at Garnedd Ddu, Star – EIA not required 2/7/13

6. Main Planning Considerations

Principle of the development: Planning permission has been granted for the development of a 33 unit touring caravan site and associated facilities. Despite suggested conditions by the Highway

Authority, the Planning and Orders Committee took the view that an additional condition requiring the formation of a passing bay was required to deal with traffic arising from the proposed development.

The proposal: The applicant seeks to delete the condition requiring construction of a passing bay and in lieu, further to discussions at the site between the Highway Authority and the applicant whereby it was suggested to the applicant that a one-way traffic system would reduce any potential conflict between vehicles entering and leaving the site, the current application is made to create and access and egress point.

The road leading from Star to Garnedd Ddu and the farms at Garnedd Isa and Garnedd Fawr beyond, despite a sign placed on the roadside alleging a private road, is and remains part of a public highway.

The proposal presented is to create a new access uphill from the existing access to Garnedd Ddu where caravan traffic can enter the site. They would exit the site via the existing access to Garnedd Ddu where there is space to wait to let any oncoming traffic pass before entering the highway. The one way system would avoid any vehicles trying to pass each other at a single access / egress point.

As part of the conditions of the consent for the creation of a caravan park, a traffic management plan was required. This has been submitted to the effect that arrival and departure times are controlled on the site such that all touring caravans departing the site must do so before midday and any arriving at the site must do so after 1pm. Whilst speculative arrivals may occasionally occur (it is usual for sites to take bookings and for customers to make bookings to ensure they have a pitch for the night rather than for them to turn up on an ad hoc basis) the width of the existing road; the presence of an existing passing bay, the creation of a one way system and the fact that the highway terminates at the farms beyond the sites and has no through traffic combine to ensure that there is unlikely to be significant conflict which would create a dangerous highway safety issue or lead to unacceptable delays or amenity impacts to neighbouring occupiers.

Amenity Impact: The application has been considered previously in terms of its amenity impacts. No significant change is proposed in terms of the scheme itself and no new or additional impacts are considered to arise.

7. Conclusion

The scheme as submitted is considered acceptable in highway safety and amenity terms.

8. Recommendation

To **approve** the application subject to the following conditions

(01) The development to which this permission relates shall be begun not later than the expiration of five years beginning with the date of this permission.

Reason: To comply with the requirements of the Town and Country Planning Act 1990.

(02) The development shall be operated in accordance with the Traffic Management Plan approved under application reference 41C8E/DIS on 14th October 2014 unless the local planning authority gives its prior written consent to any variation.

Reason: In order to minimize danger, obstruction and inconvenience to users of the highway and of the development.

(03) No more than 33 touring caravan pitches shall be constructed on the site and they shall be positioned in accordance with the Proposed Access Layout drawing received under planning application reference number 41C8G/DEL on 13th June 2016.

Reason: For the avoidance of doubt and to safeguard visual amenities.

(04) Use of the touring site as approved under this permission shall be for holiday purposes only and a register of the use of pitches shall be maintained and shall be made available for inspection by the local planning authority at all times.

Reason: For the avoidance of doubt and to prevent inappropriate uses in this countryside area.

(05) No touring caravans or motorhomes shall be permitted on site before 1st March in any year or after 31st October in the same calendar year.

Reason in the interests of visual and residential amenities.

(06) Notwithstanding the landscaping proposals indicated on drawing number DL-205-03 Revision A submitted under application reference number 41C8C on 16th April 2013, the site landscaping works shall include a hedge to be planted in accordance with the details approved under application reference 41C8F/DIS on 8th October 2015. No touring caravans or motor homes shall be placed on the site until the hedge and other landscaping proposals detailed in drawing number DL-205-03 Revision A submitted under application reference number 41C8C on 16th April 2013 have been planted and completed in accordance with the approved details.

Reason: to ensure a satisfactory appearance of the development and in the interests of amenities.

(07) No development shall commence until details of the management of the landscaping scheme for a minimum period of 5 years from planting, to include measures for replacement of any trees or shrubs which die, become diseased or damaged, has been submitted to and approved in writing by the local planning authority. The scheme shall thereafter proceed in accordance with the approved details unless the local planning authority gives its prior written consent to any variation.

Reason In the interests of visual amenity.

(08) No touring caravan units or motor homes shall be placed on the site until the drainage scheme for the site is installed and is operational.

Reason: To ensure that the development is adequately drained

(09) No external lighting shall be permitted other than in accordance with a lighting scheme which shall be submitted to and approved in writing by the local planning authority prior to its installation.

Reason: In the interests of amenity

(10) The development shall be carried out in accordance with the Proposed Access Layout drawing received under planning application reference number 41C8G/DEL on 13th June 2016 and as listed under the conditions imposed.

Reason: To define the scope of this permission.

In addition the Head of Service be authorised to add to, remove or amend/vary any condition(s) before the issuing of the planning permission, providing that such changes do not affect the nature or go to the heart of the permission/ development.

13.1

Materion Eraill

Other Matters

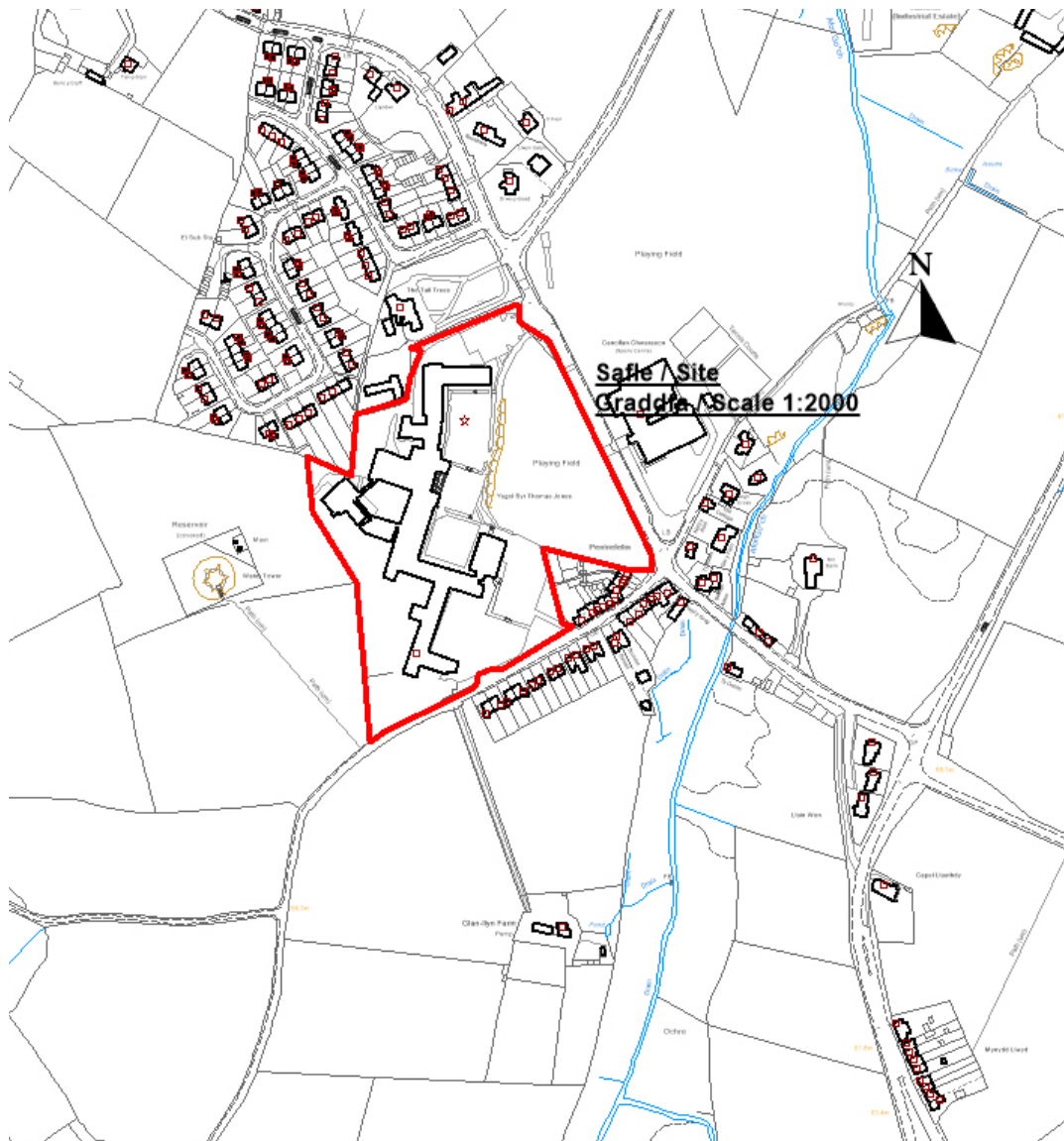
Rhif y Cais: 11LPA101M/1/LB/CC Application Number

Ymgeisydd Applicant

Head of Service Highways, Waste and Property

Caniatâd Adeilad Rhestredig ar gyfer gwaith yn/ Listed Building Consent for works at

Ysgol Syr Thomas Jones, Amlwch



Planning Committee: 06/07/2016

Report of Head of Planning Service (GJ)

Reason for Reporting to Committee:

To note that the following application will be forwarded to the Welsh Assembly of Wales for determination in accordance with Regulation 13 of Planning (Listed Building and Conservation Areas) Act 1990.

11LPA101M/1/LB/CC – Listed Building Consent for works at Ysgol Syr Thomas Jones, Amlwch